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DAY RESIDENCE
PHASE 2 - PERMIT REVISION S
7825 SE 76TH ST
MERCER ISLAND, WA 98040

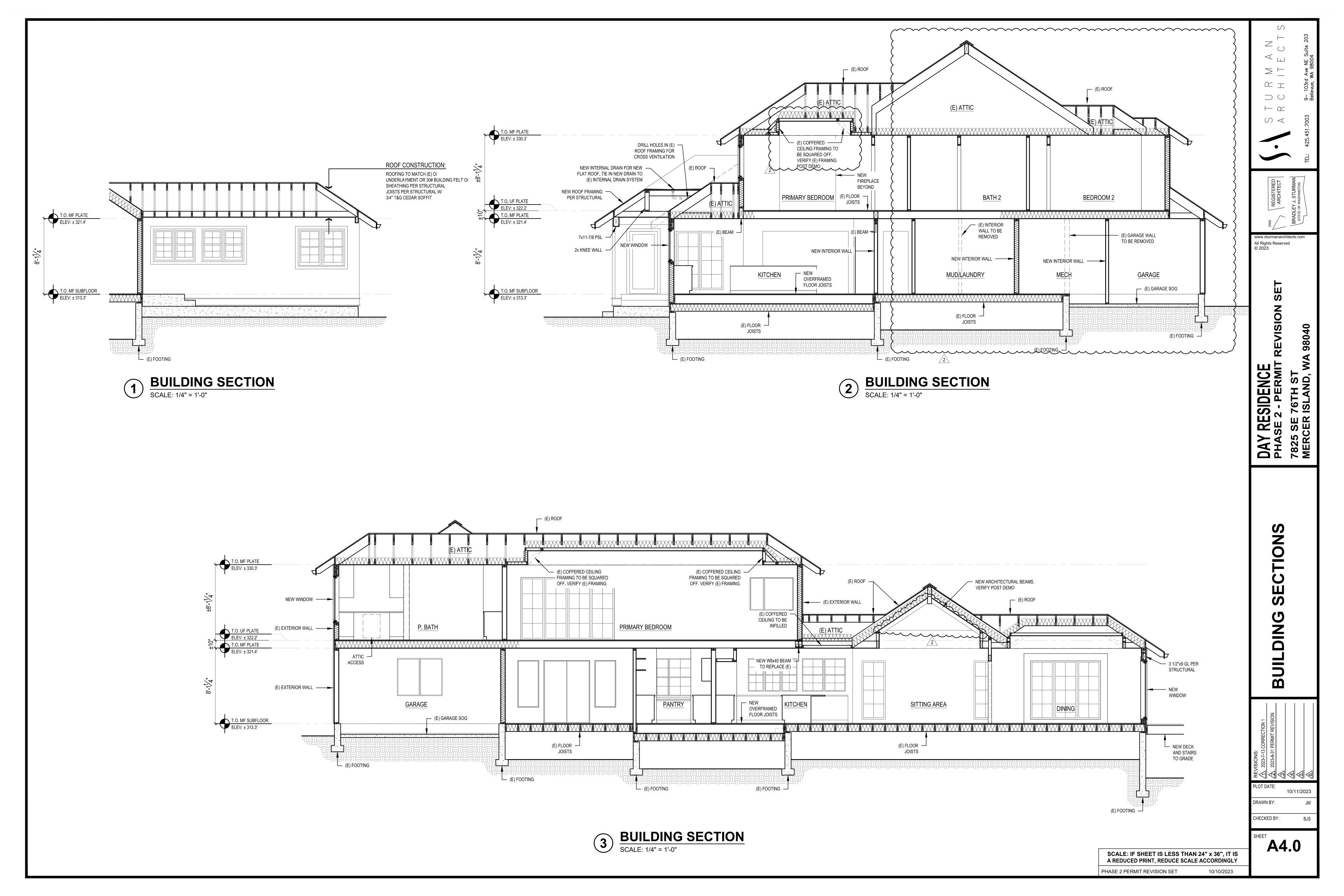
VATION EXTERIOR

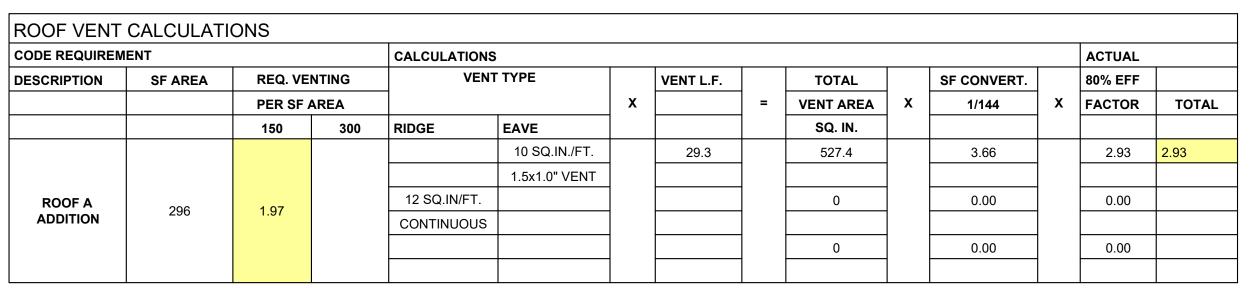
PLOT DATE: 10/11/2023

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PHASE 2 PERMIT REVISION SET 10/10/2023

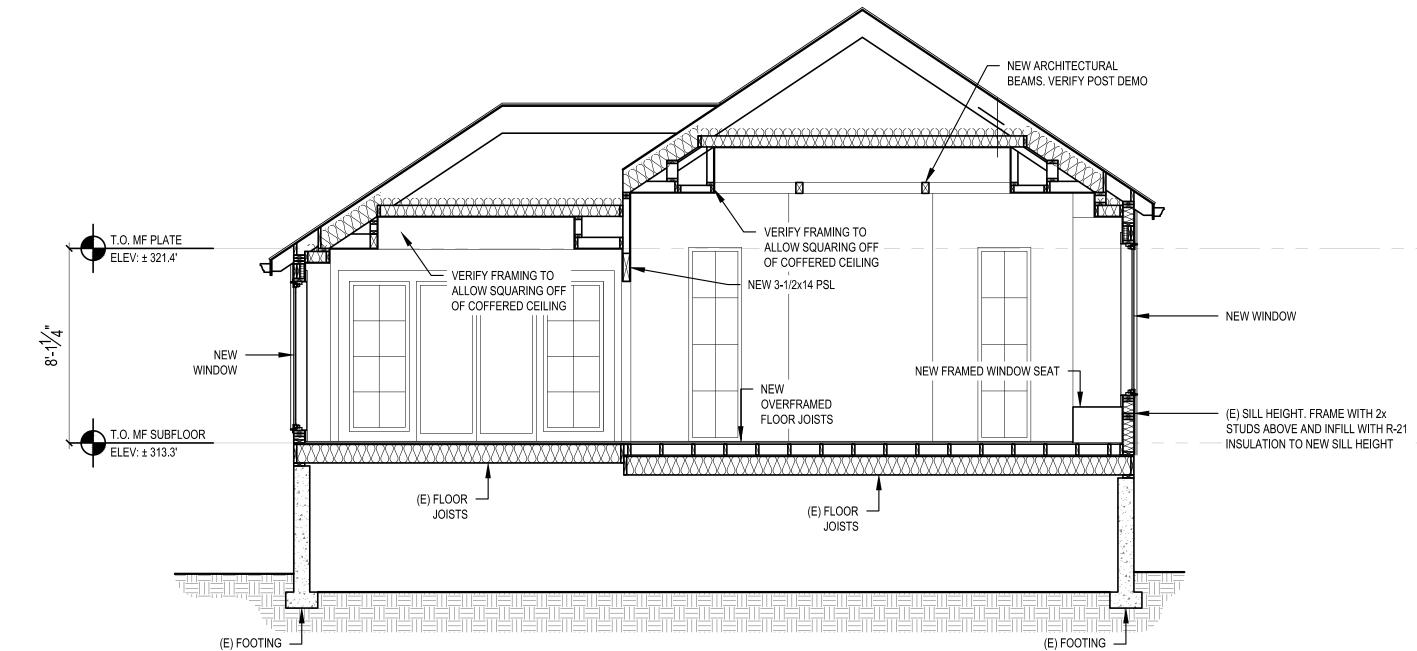




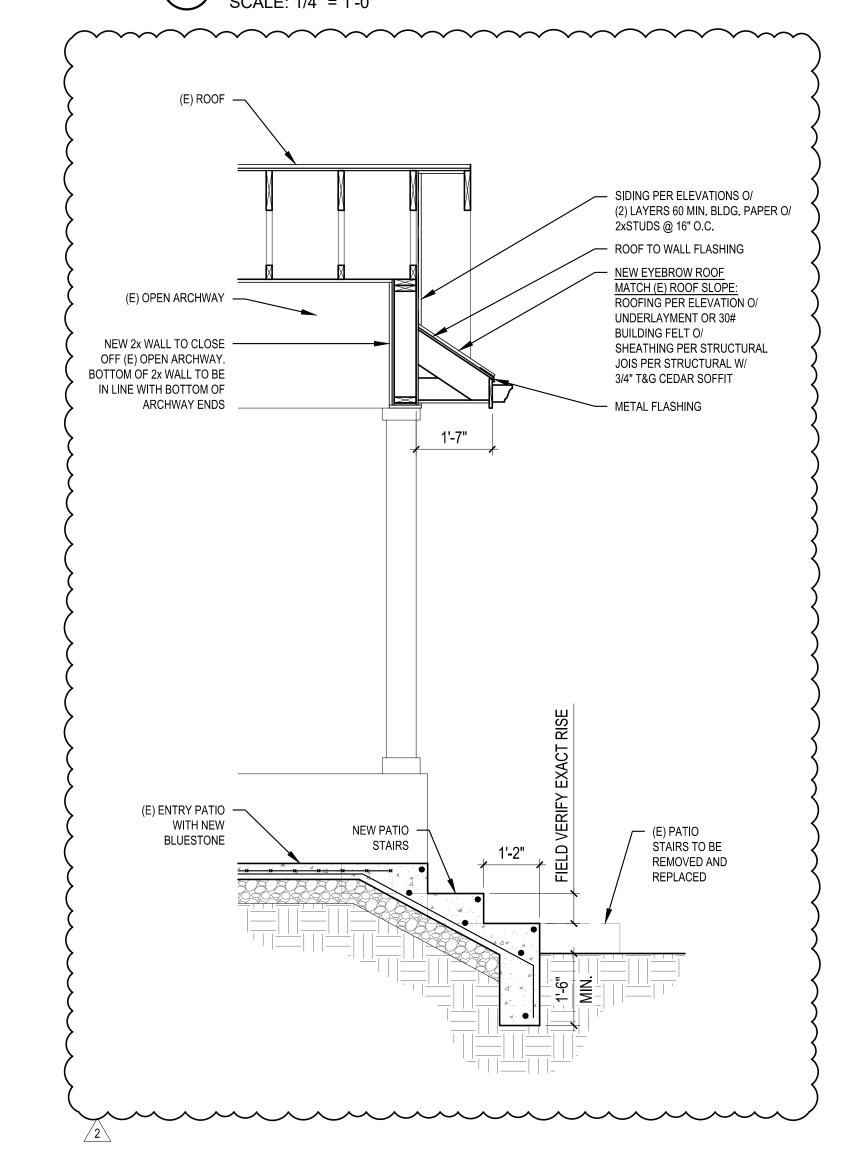
DOOR TYPES:	DOOR WIDTH				→	
	DOUBLE FRENCH DOOR	SINGLE FRENCH DOOR	DOUBLE SWING DOOR	SOLID-CORE SWING DOOR	E POCKET DOOR	

DOOR	SCHEDULE							
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS
MAIN FLC	OOR		•	•			_	•
101	DINING	PR 2' - 6"	6' - 8"	А	Y	1-3/4"	0.28	GRID. MATCH GRID WITH ADJACENT WINDOWS OR SIMILAR
102	KITCHEN	2' - 6"	6' - 8"	В	Y	1-3/4"	0.28	
103	ENTRY	PR 3' - 0"	8' - 6"	С		1-3/4"		
104	STUDY	2' - 6"	6' - 8"	D		1-3/4"		
105	POWDER	2' - 6"	6' - 8"	D		1-3/4"		
106	MEDIA	2' - 8"	6' - 8"	Α		1-3/4"		
107	LAUNDRY	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING
108	MECHANICAL	3' - 0"	6' - 8"	D		1-3/4"		
109	MEDIA	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING
110	STAIR CLOSET	2' - 8"	6' - 8"	Α		1-3/4"		
UPPER FI	LOOR							
201	BEDROOM 4	2' - 4"	6' - 8"	D		1-3/4"		
202	BATH 3	2' - 6"	6' - 8"	D		1-3/4"		
203	BEDROOM 4	PR 2' - 0"	6' - 8"	С		1-3/4"		
204	BATH 2	2' - 6"	6' - 8"	D		1-3/4"		
205	BEDROOM 3	PR 2' - 0"	6' - 8"	С		1-3/4"		
206	BEDROOM 3	2' - 6"	6' - 8"	D		1-3/4"		
207	BEDROOM 2	2' - 6"	6' - 8"	D		1-3/4"		
208	BEDROOM 2	PR 2' - 6"	6' - 8"	С		1-3/4"		
209	LAUNDRY	2' - 8"	6' - 8"	D		1-3/4"		
210	PRIMARY CLOSET	2' - 6"	6' - 8"	E		1-3/4"		
211	PRIMARY BATH	2' - 8"	6' - 8"	D		1-3/4"		
212	TOILET ROOM	2' - 6"	6' - 8"	D		1-3/4"		
213	ATTIC	2' - 6"	1' - 10"	D		1-3/4"		WALL MOUNTED ATTIC ACCESS
214	PRIMARY BEDROOM	PR 2' - 6"	6' - 8"	С		1-3/4"		
			I					

WINDOW SCHEDULE									
TAG.	DESCRIPTION	WINDO	W SIZE	TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
·									
Α	DOUBLE HUNG	2' - 3"	3' - 6"	Υ	4	15.8	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
В	FIXED	2' - 6"	6' - 8"	Υ	4	66.7	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
С	FIXED	2' - 2 1/2"	8' - 1"	Υ	2	35.7	0.28	LOW E / CLEAR	GRID PER ELEVATION
D	FIXED	2' - 6"	6' - 3"	Υ	11	171.9	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION, CONFIRM HEIGHT ON SITE
E	FIXED	2' - 2 1/2"	6' - 4"	Υ	4	59.6	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION
F	DOUBLE HUNG	2' - 6'	4' - 0"	N	3	30	0.28	LOW E / CLEAR	GRID PER ELEVATION, 1 PAIR FACTORY JOINED
G	FIXED	1' - 10"	5' - 0"	Υ	3	27.5	0.28	LOW E / CLEAR	PRIVACY GLASS, GRID PER ELEVATION, FACTORY JOINED
Н	FIXED	1' - 10"	5' - 0"	Υ	2	18.3	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED.
. [FIXED	4' - 4"	4' - 4"	Υ	1	18.77	0.28	LOW E / CLEAR	48" SQ.IN. GLASS TO GLASS, PRIVACY GLASS, GRID PER ELEVATION



BUILDING SECTION



ENTRY SECTION
SCALE: 1/2" = 1'-0" **5**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

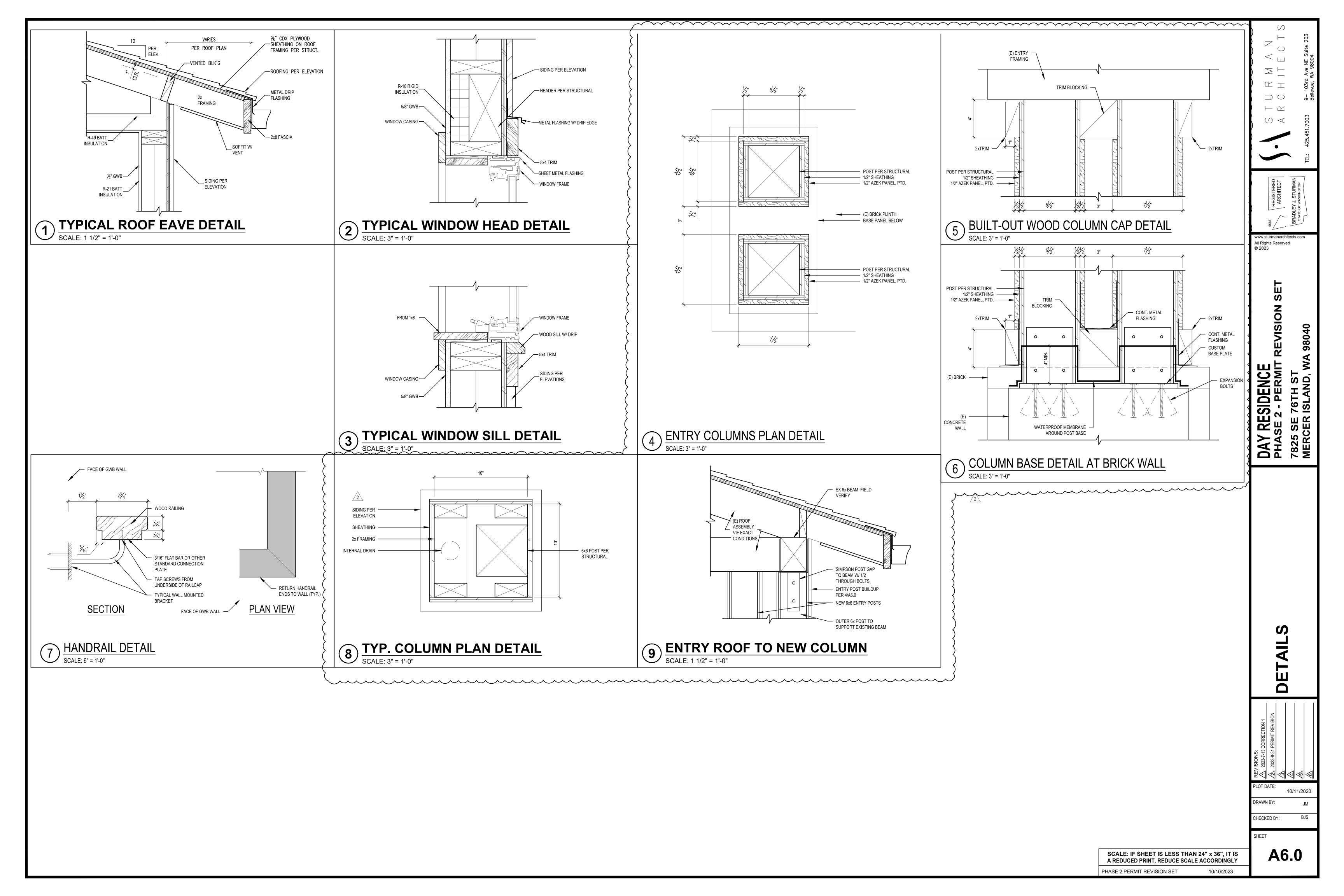
PHASE 2 PERMIT REVISION SET 10/10/2023

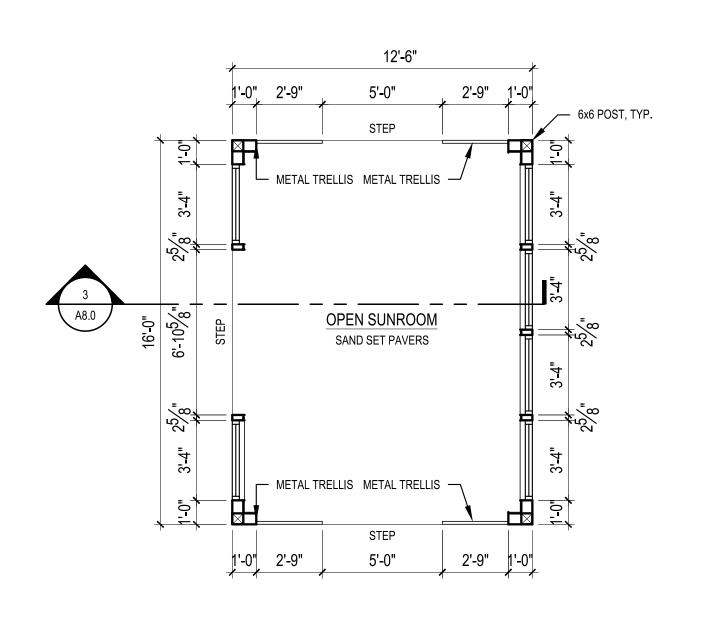
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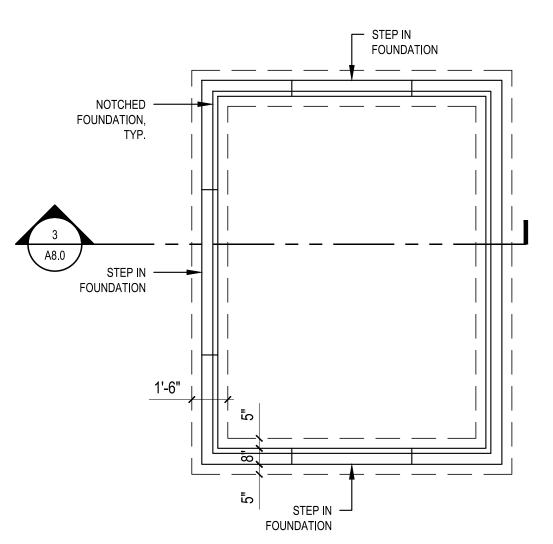
 \bigcirc All Rights Reserved © 2023 REVISIO DAY RESIDENCE PHASE 2 - PERMIT F TIONS W SCHEDULE ALCULATION BUILDING SECTI DOOR/WINDOW ROOF VENT CAL PLOT DATE: 10/11/2023 DRAWN BY: CHECKED BY:

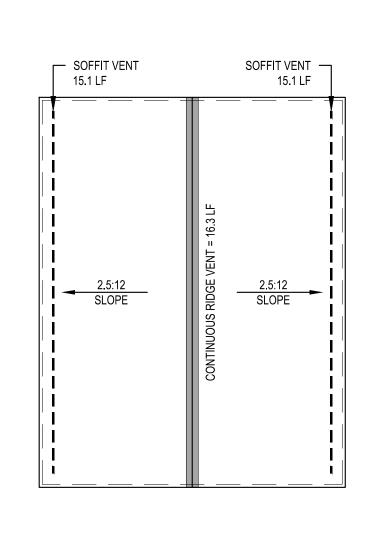
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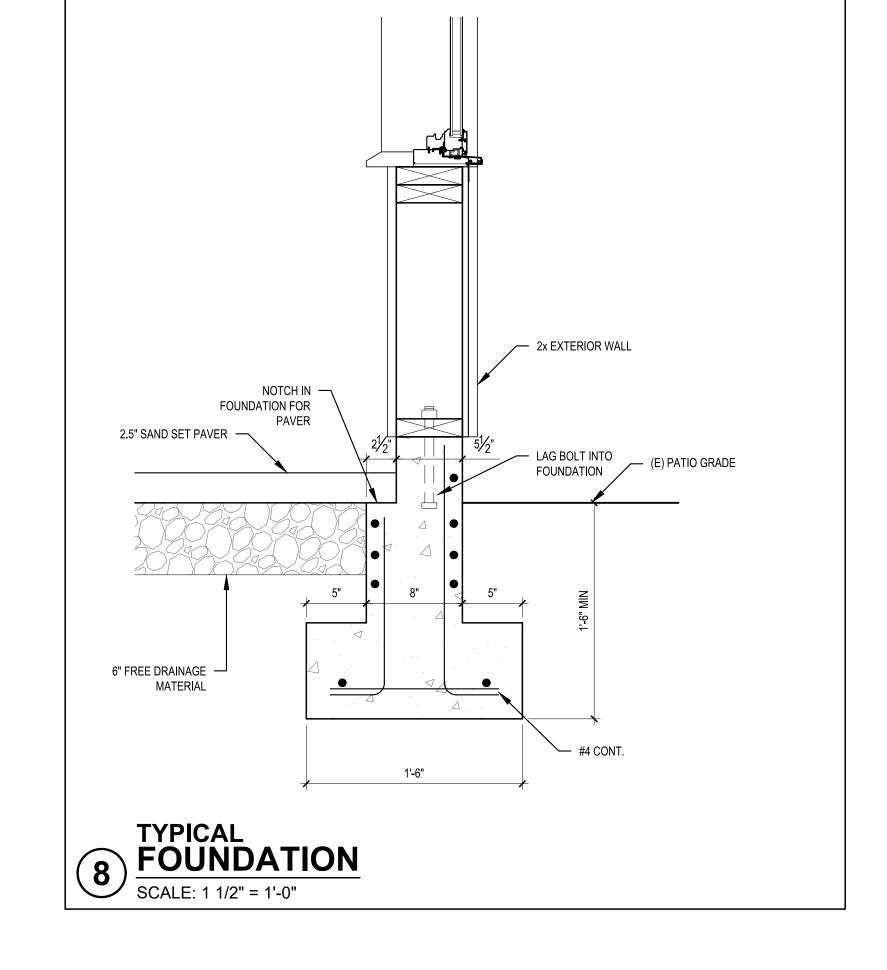
OPEN SUNROOM PLAN SCALE: 1/4" = 1'-0"

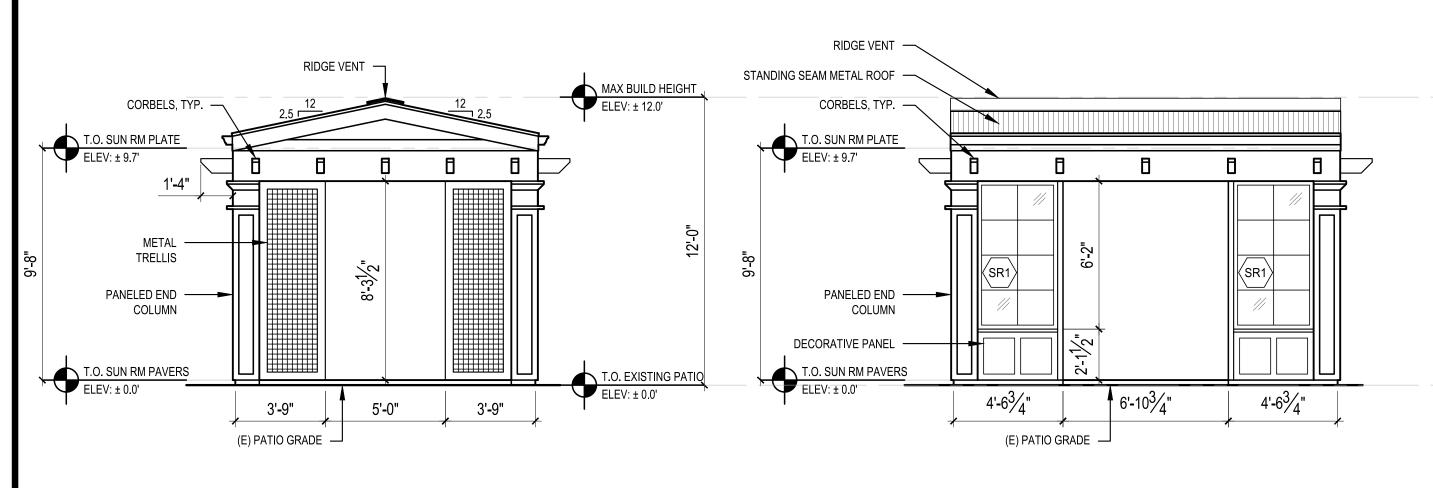
OPEN SUNROOM PLAN FOUNDATION
SCALE: 1/4" = 1'-0"

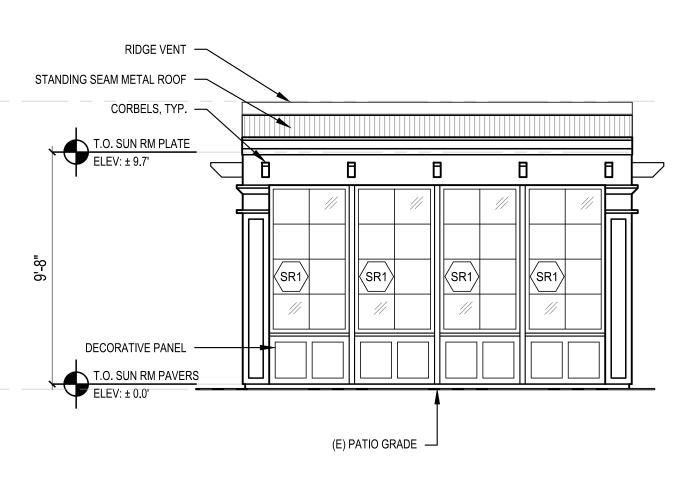
3 OPEN SUNROOM ROOF PLAN SCALE: 1/4" = 1'-0"

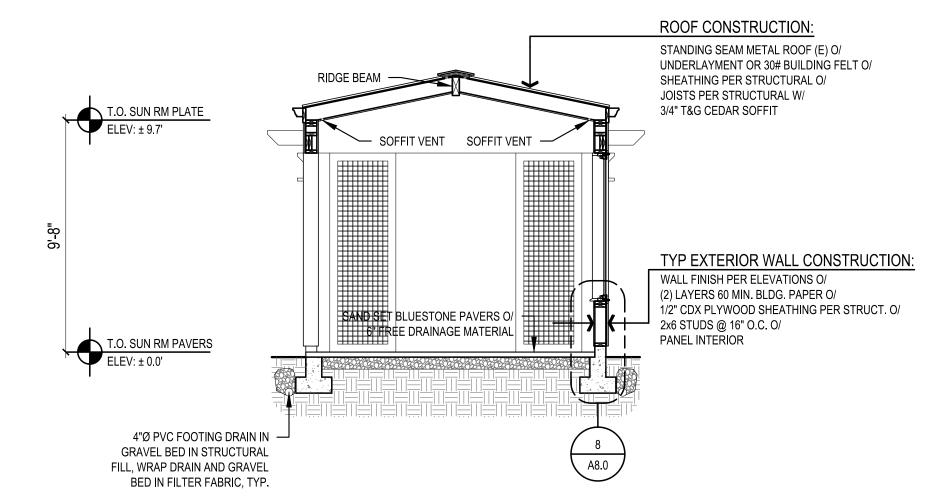
CODE REQUIREMENT				CALCULATIONS	CALCULATIONS									ACTUAL	
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE			VENT L.F.		TOTAL		SF CONVERT.		80% EFF		
		PER SF	AREA]		x		=	VENT AREA X	x	X 1/144	x	FACTOR	TOTAL	
		150	300	RIDGE	EAVE				SQ. IN.						
					10 SQ.IN./FT.		30.2		543.6		3.78		3.02	4.11	
					1.5x1.0" VENT										
OPEN SUN	207	4.20		12 SQ.IN/FT.			16.3	1	195.6		1.36		1.09		
ROOM	207	1.38		CONTINUOUS								1			
									0		0.00		0.00		
						1		1							

		_					0	0.00	0.00
WINDOW	SCHEDULE								
TAG.	DESCRIPTION	WINDO	OW SIZE	TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
SR1	PICTURE	3' - 4"	6' - 2"	N	6	123.3	0.28	LOW E / CLEAR	GRID

















SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY PHASE 2 PERMIT REVISION SET

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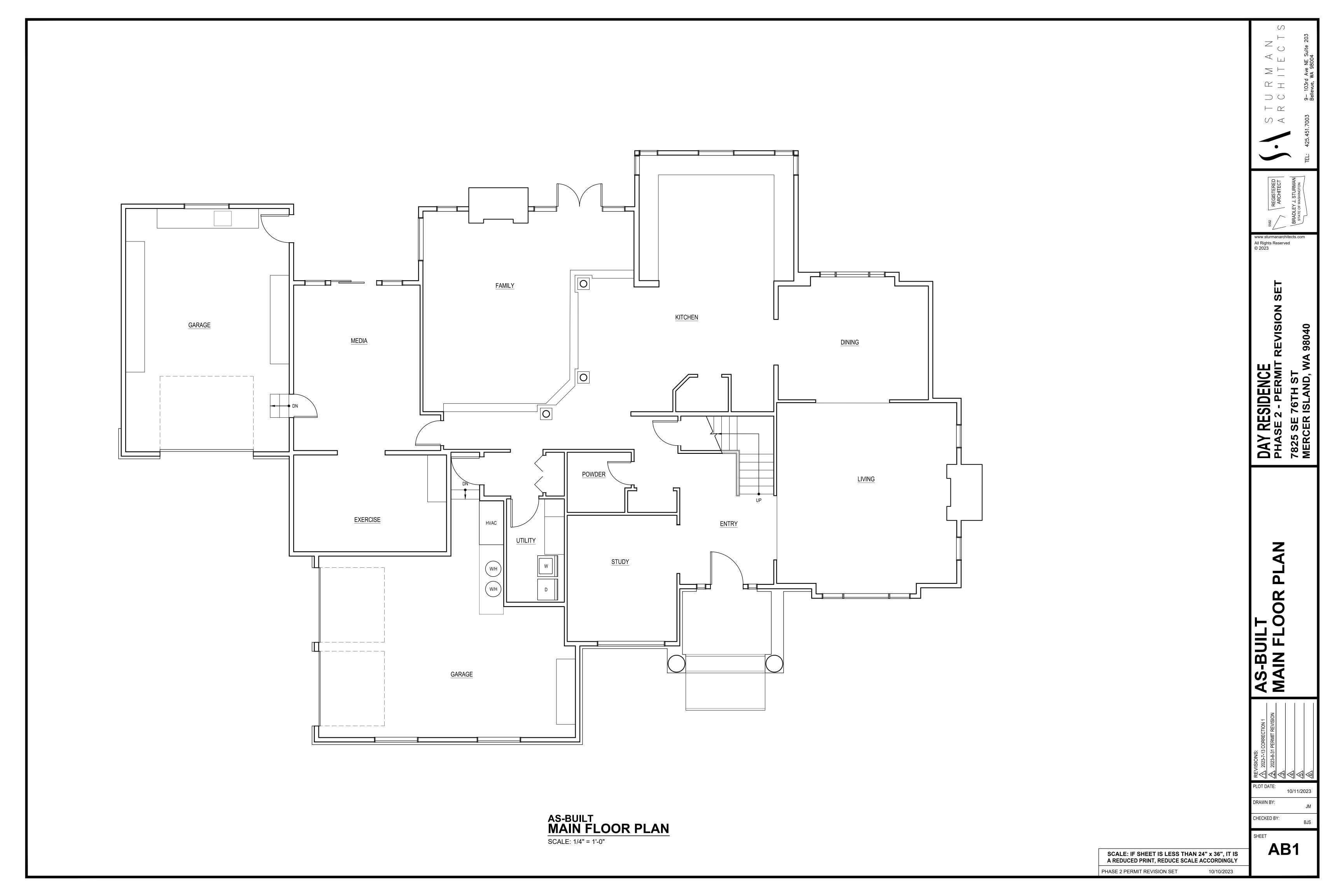
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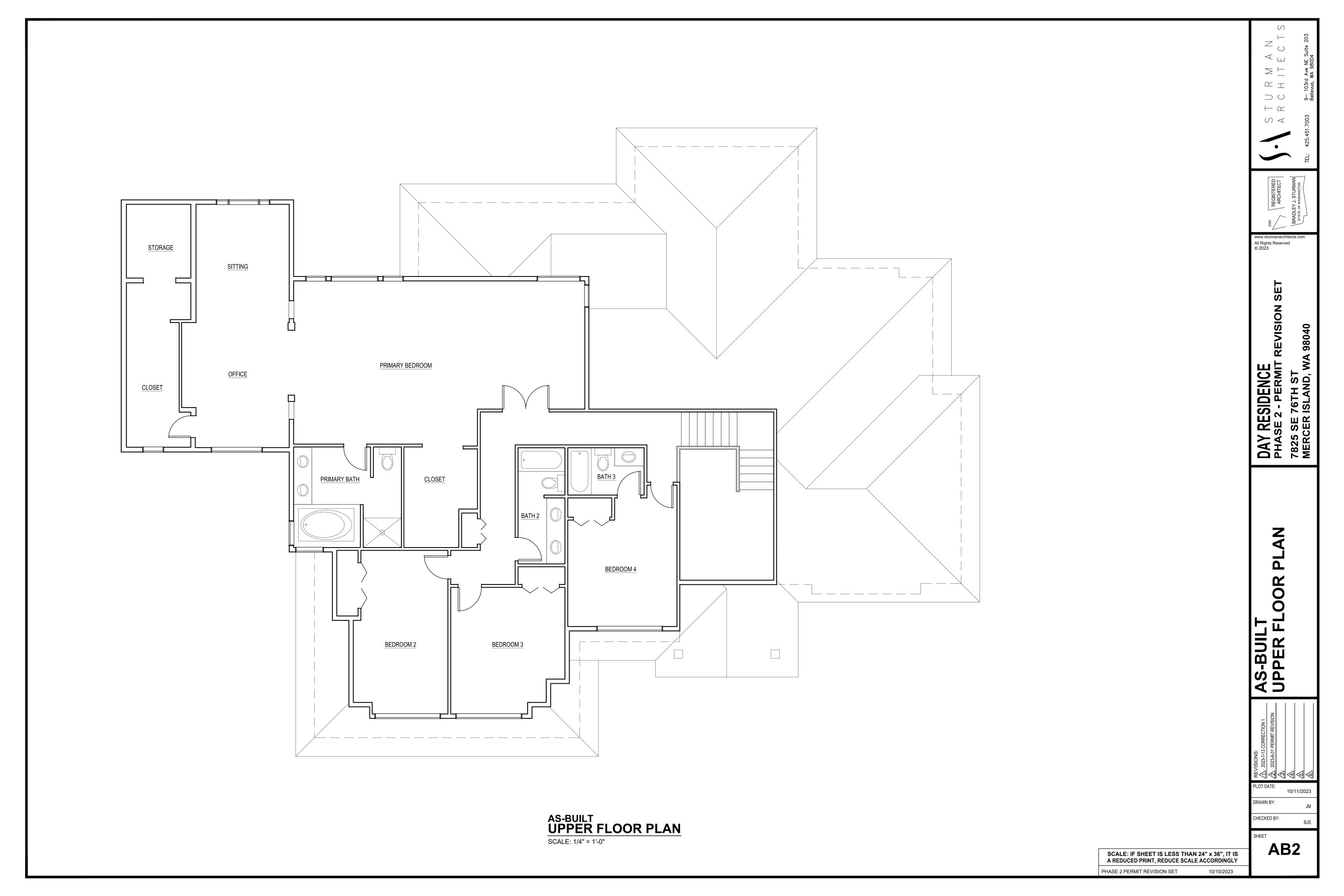
UNROOM **△**

0 10/11/2023

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GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

- 1.1 ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- 1.2 DESIGN LOADING CRITERIA

ROOF SNOW LOAD	PSF
ATTIC LIVE LOAD (UNINHABITABLE - NO STORAGE)	PSF
FLOOR LIVE LOAD (RESIDENTIAL)	?SF
FLOOR LIVE LOAD (RESIDENTIAL DECKS AND BALCONIES) 60 1	?SF
GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD	LBS

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 1.3 STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 1.4 CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST
- 1.5 CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE
- 1.6 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE ENGINEER OF RECORD HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE ENGINEER OF RECORD HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 1.7 CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 1.8 DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE ENGINEER OF RECORD.
- 1.9 ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 1.14 DEFLECTION OF CANTILEVERS SHALL BE CLOSELY MONITORED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR TO VERIFY AND ENSURE ALL POST CAPS AND POST BEARING CONDITIONS ARE INSTALLED IN STRICT CONFORMANCE TO THE STRUCTURAL PLANS. CANTILEVERS IN WOOD FRAMING CAN DEFLECT UP TO 1/8" PER FOOT (I.E. 4' CANTILEVER MAY DEFLECT 1/2"). IF DEFLECTION EXCEEDS 1/8" PER FOOT NOTIFY STRUCTURAL ENGINEER IMMEDIATELY. BEFORE

FINISHES ARE INSTALLED. FLOORS AT OR ABOVE CANTILEVERS MAY REQUIRE LEVELING COMPOUND AND SOFFITS FURRED TO MAKE THEM LEVEL.

GEOTECHNICAL

3.1 FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND COEFFICIENT OF FRICTION ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE ENGINEER OF RECORD FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

COEFFICIENT OF FRICTION (FACTOR OF SAFETY OF 1.5 INCLUDED) 0.35

RENOVATION

- 4.1 DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 4.2 EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO
 - ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF
 - MEMBERS PRIOR TO CUTTING ANY OPENINGS. C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING,
 - IF POSSIBLE. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING WITH 4" MINIMUM EMBEDMENT IN EXISTING
- 4.5 CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE ENGINEER OF RECORD OR ARCHITECT.

CONCRETE, UNLESS OTHERWISE NOTED ON PLANS.

WOOD MEMBERS WITH ROT OR WATER DAMAGE THAT ARE NOT REMOVED SHALL BE TREATED WITH 'PC-ROT TERMINATOR' 2-PART EPOXY WOOD CONSOLIDANT (OR APPROVED EQUAL). CONSOLIDANT SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

5.1 CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE

WITH IBC SECTION 1904 AND ACI 301-10. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

28 DAY MAXIMUM ABSOLUTE TYPE OF CONSTRUCTION STRENGTH WATER- CEMENT RATIO NON-AIR ENTRAINED AIR ENTRAINED

A. ALL STRUCTURAL CONCRETE 2,500 PSI 0.58

CONCRETE

5.2 THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FLYASH, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

CONCRETE

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, and C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE 1904.2 OF THE INTERNATIONAL BUILDING CODE.

- 5.4 REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI.
- 5.7 DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER OF RECORD.

5.8 CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER) . . 1-1/2"

5.10 CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

6.2 EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS INTO EXISTING CONCRETE AND GROUTED CMU SHALL BE INSTALLED USING "SET-XP" EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. 2508. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. SET-XP IS FOR USE AT AIR TEMPERATURES BETWEEN 50 AND 110 DEGREES FAHRENHEIT

AT TIME OF INSTALLATION. USE ACRYLIC ADHESIVE LISTED IN NOTE 6.2A IF TEMPERATURES ARE BELOW 50 DEGREES.

- 6.2A ACRYLIC ADHESIVE-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS INTO EXISTING CONCRETE AND GROUTED CMU SHALL BE INSTALLED USING "AT-XP" EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAPMO REPORT NO. UES ER-263. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. AT-XP IS FOR USE AT AIR TEMPERATURES BETWEEN O AND 100 DEGREES FAHRENHEIT AT TIME OF INSTALLATION. USE EPOXY ADHESIVE LISTED IN NOTE 6.2 IF TEMPERATURES ARE ABOVE 90 DEGREES.
- 6.4 SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHORS AS MANUFACTURED BY SIMPSON STRONG-TIE. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. 1056.

STEEL

- 8.1 STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
 - 1. EITHER AISC-LRFD, AISC 355, OR AISC-HSS AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.
- 8.2 WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307.
- 8.9 ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED.

9.1 FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS:	(2X & 3X MEMBERS)	HEM-FIR MINIMUM	NO. 2 BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)		FIR-LARCH NO. 1 BASE VALUE, Fb = 1000 PSI
	(2X, 3X & 4X PRESSURE TREATED MEMBERS)	HEM-FIR MINIMUM	NO. 2 BASE VALUE, Fb = 850 PSI
POSTS:	(4X MEMBERS)		FIR-LARCH NO. 2 BASE VALUE, Fc = 1350 PSI
	(4X PRESSURE TREATED MEMBERS)	HEM-FIR MINIMUM	NO. 2 BASE VALUE, Fc = 1300 PSI
	(6X AND LARGER)	DOUGLAS	FIR-LARCH NO. 1

MINIMUM BASE VALUE, Fc = 1000 PSI

(6X AND LARGER PRESSURE TREATED

HEM-FIR NO.2 MINIMUM BASE VALUE, Fc = 575 PSI

2 X 4 STUDS, PLATES & MISC. FRAMING: DF/L OR HF STUD GRADE

2 X 6 STUDS, PLATES & MISC. FRAMING: DF/L OR HF #2

MEMBERS \

- 9.2 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND AITC STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 240 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 3,000' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS. GLULAM COLUMNS SHALL BE DOUGLAS FIR COMBINATION #5.
- 9.3 MANUFACTURED LUMBER, PSL, LVL, AND LSL SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSILVL (1.9E) Fb = 2600 PSI, E = 1900 KSI, Fv = 285 PSILSL (1.55E) Fb = 2250 PSI, E = 1550 KSI, Fv = 310 PSI

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- 9.9 PREFABRICATED SHEAR WALLS SHALL BE "STRONG-WALLS" AS MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ICC-ES REPORTS NO. 1679 FOR STEEL WALLS AND NO. 2652 FOR WOOD WALLS, THE MANUFACTURER'S CURRENT PRODUCT LITERATURE AND THE STRUCTURAL DRAWINGS.
- 9.10 PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLAT ROOF SHEATHING SHALL E 5/8" (NOMINAL) WITH SPAN RATING 40/20.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

9.12 ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

PRESSURE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD C2 FOR LUMBER OR C9 FOR PLYWOOD. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RETENTION OF 0.25 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS (NAILS, SCREWS, BOLTS AND ANCHOR BOLTS) AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.

- 9.13 STRUCTURAL SOFFIT/EAVE VENTS SHALL BE 'RAFT-A-VENT' (RS-400) EAVE VENT AS MANUFACTURED BY 'COR-A-VENT' AND INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SEE STRUCTURAL PLANS AND DETAILS FOR NAIL REQUIREMENTS AT VENT LOCATIONS.
- 9.15 TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CURRENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LU" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITT" SERIES JOIST HANGERS. ALL DOUBLE-2X JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "HU" SERIES JOIST HANGERS. ALL DOUBLE-TJI JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

9.16 WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"
16d SINKER	3-1/2"	0.148"
16d COMMON	3-1/2"	0.162"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE ENGINEER OF RECORD (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD.

REQUIRED FOR 3/8" DIAMETER AND SMALLER LAG SCREWS.

- 9.17 WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO ARCHITECTURAL DRAWINGS.
 - B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS

FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER (HOT-DIP GALVANIZED) ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM WITH 1/4" x 3" x 3" (HOT-DIP GALVANIZED) PLATE WASHERS, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/16) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/ TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLAT ROOF AND FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT

THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.9.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND

SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING



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SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

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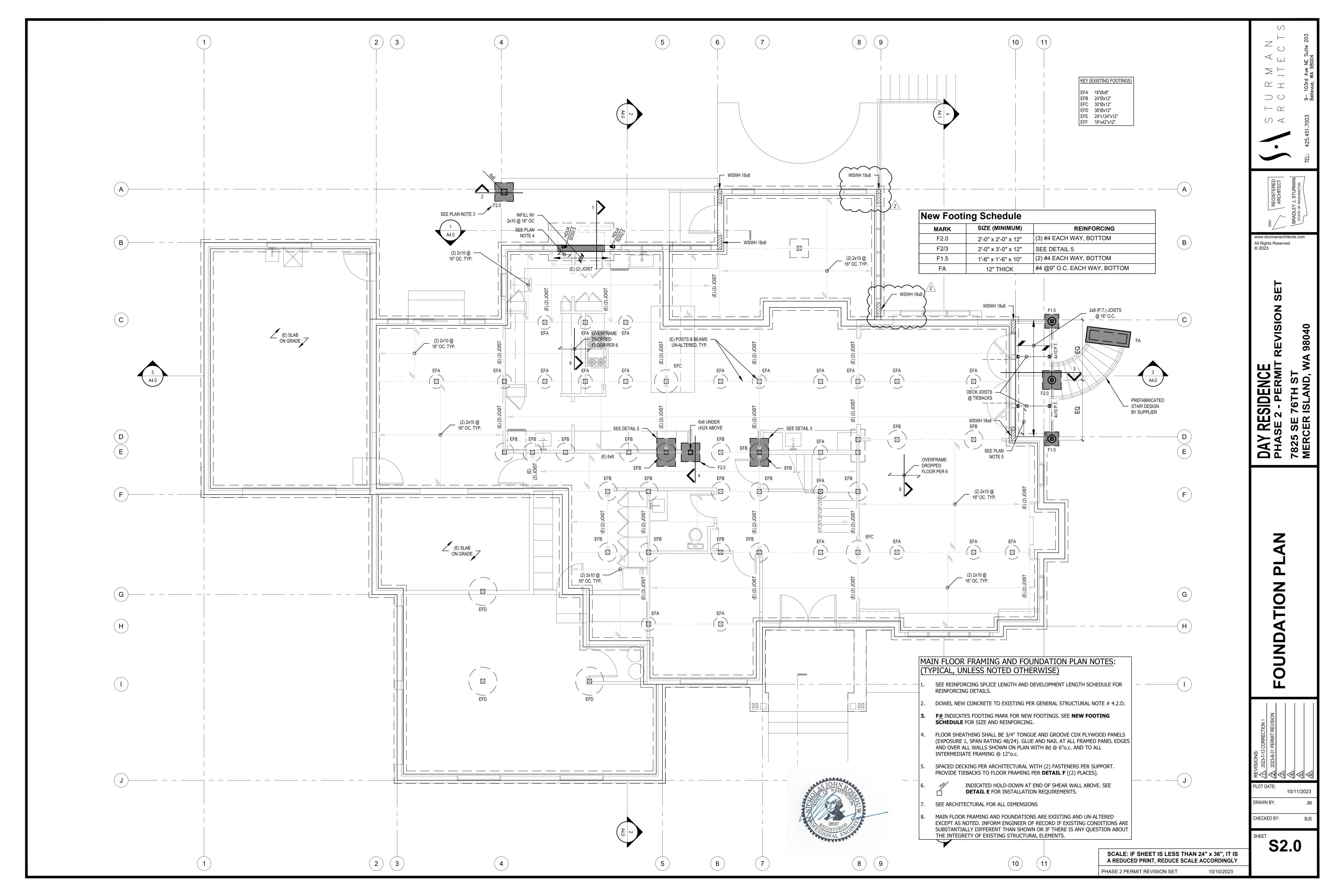
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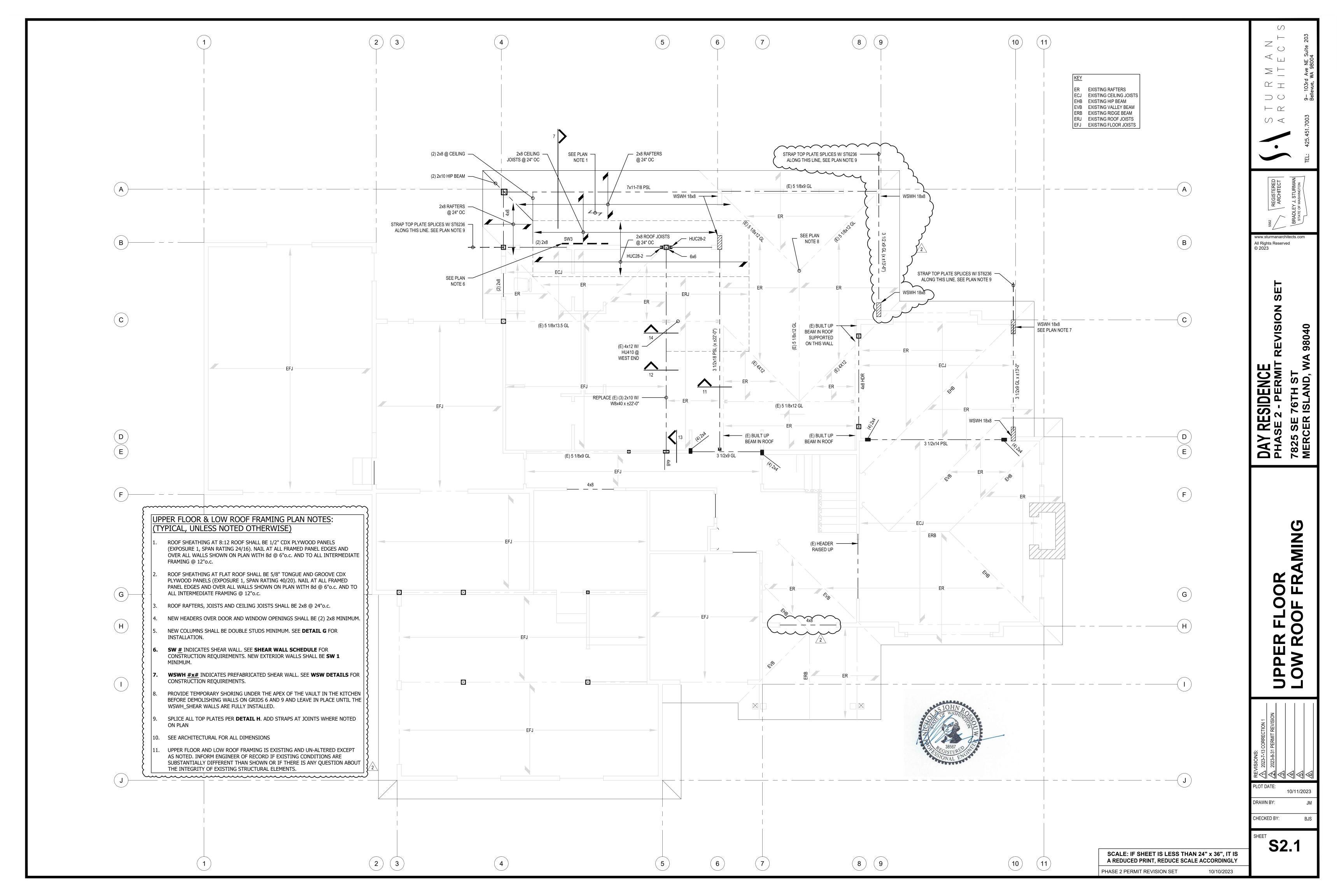
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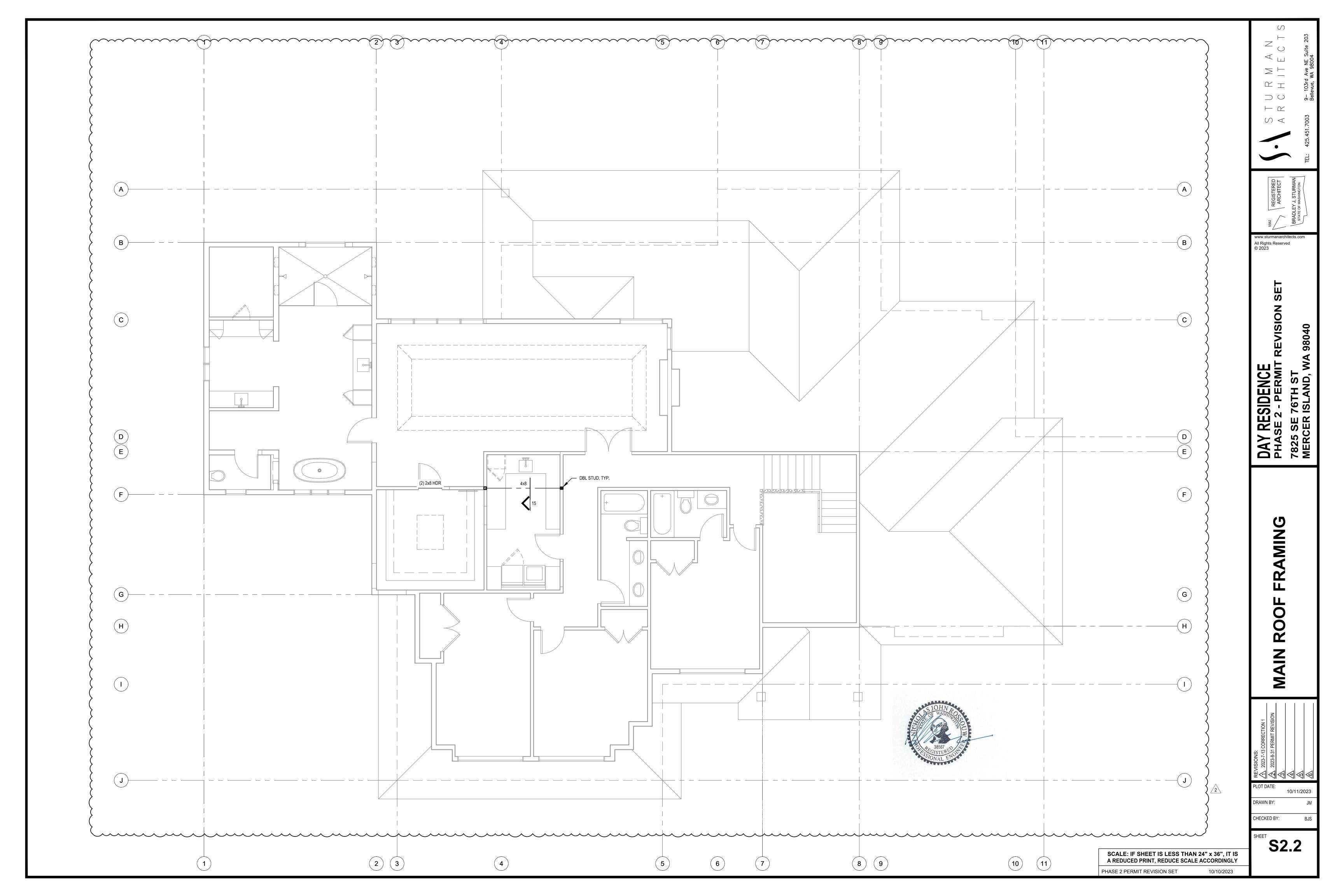
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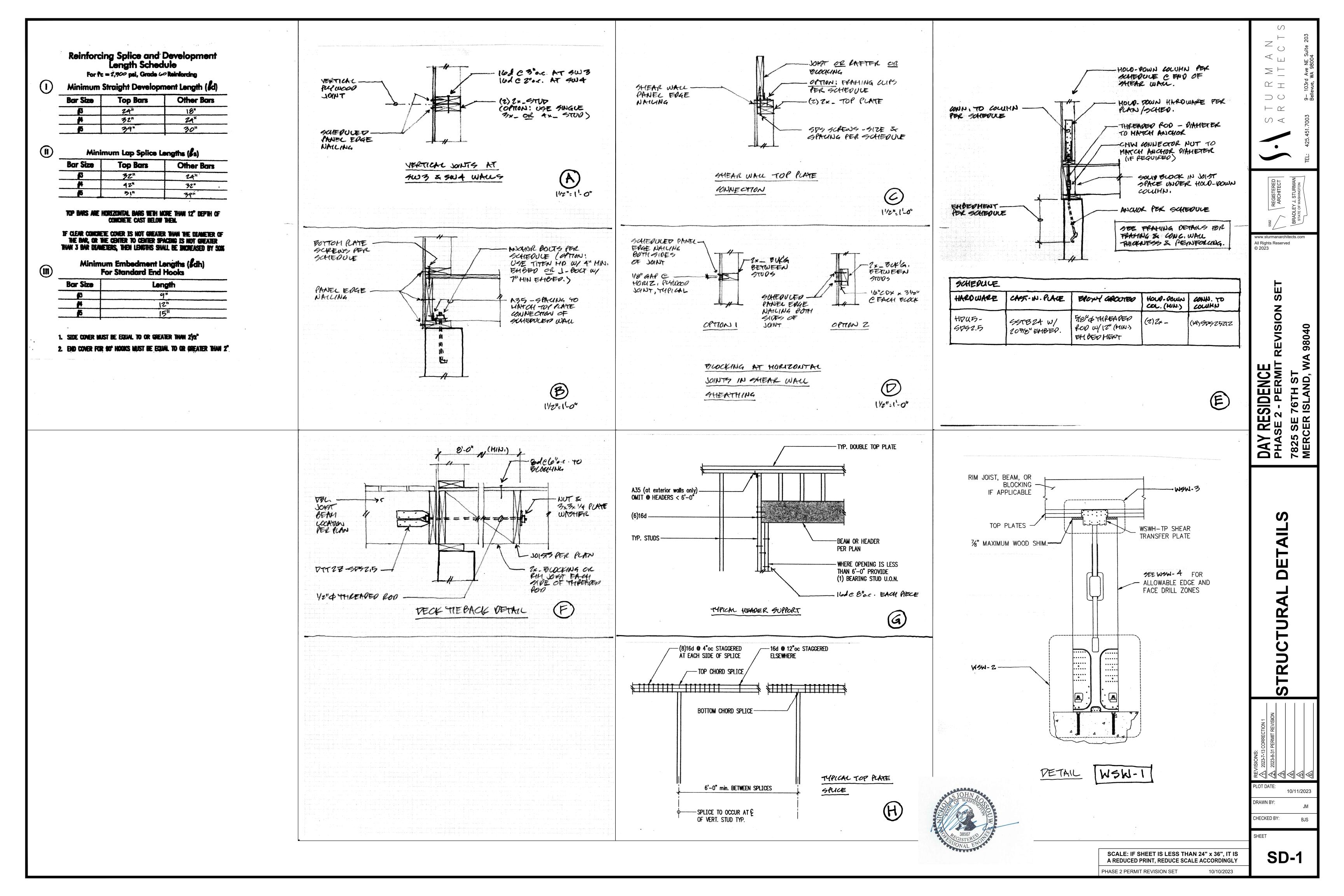
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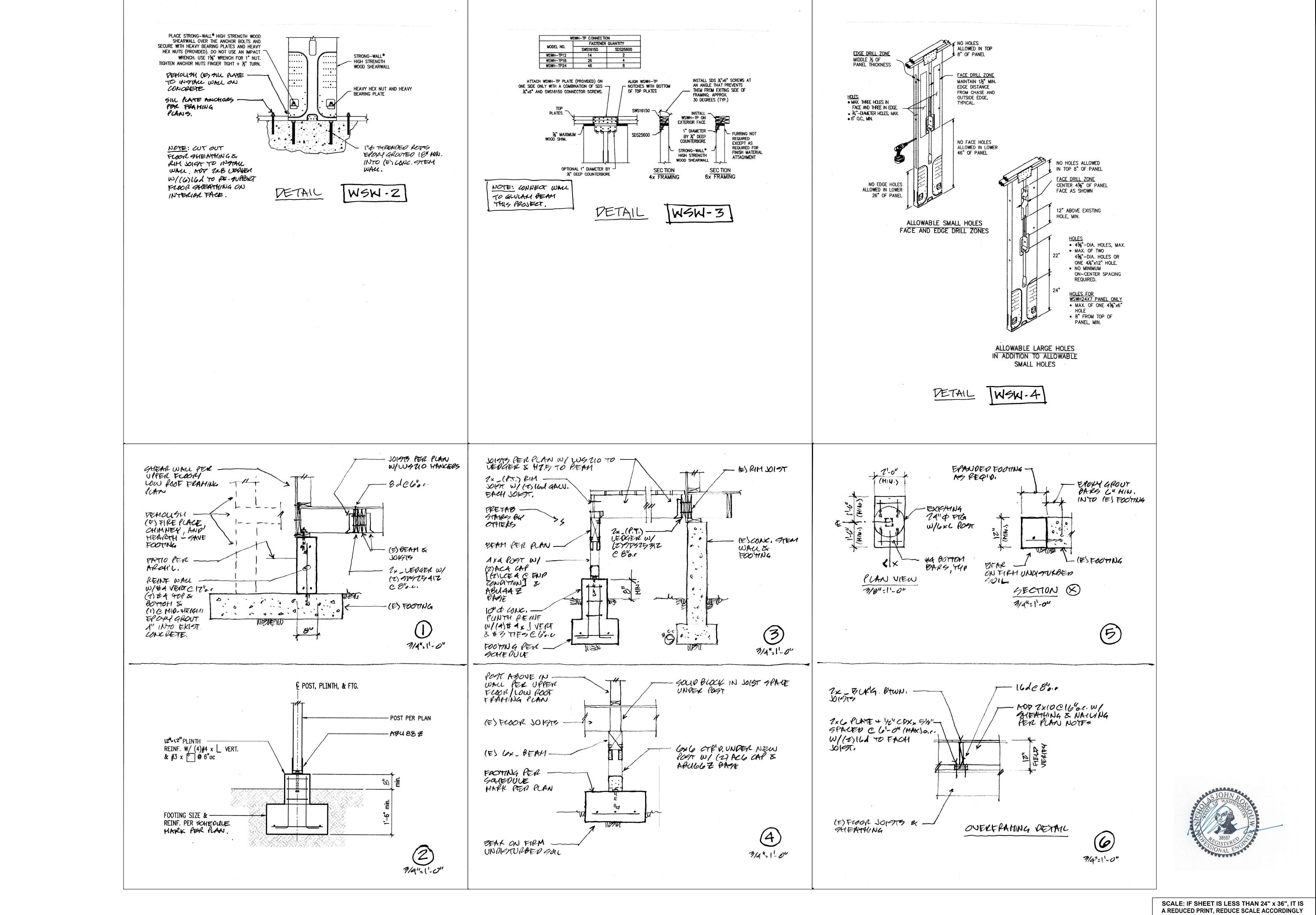
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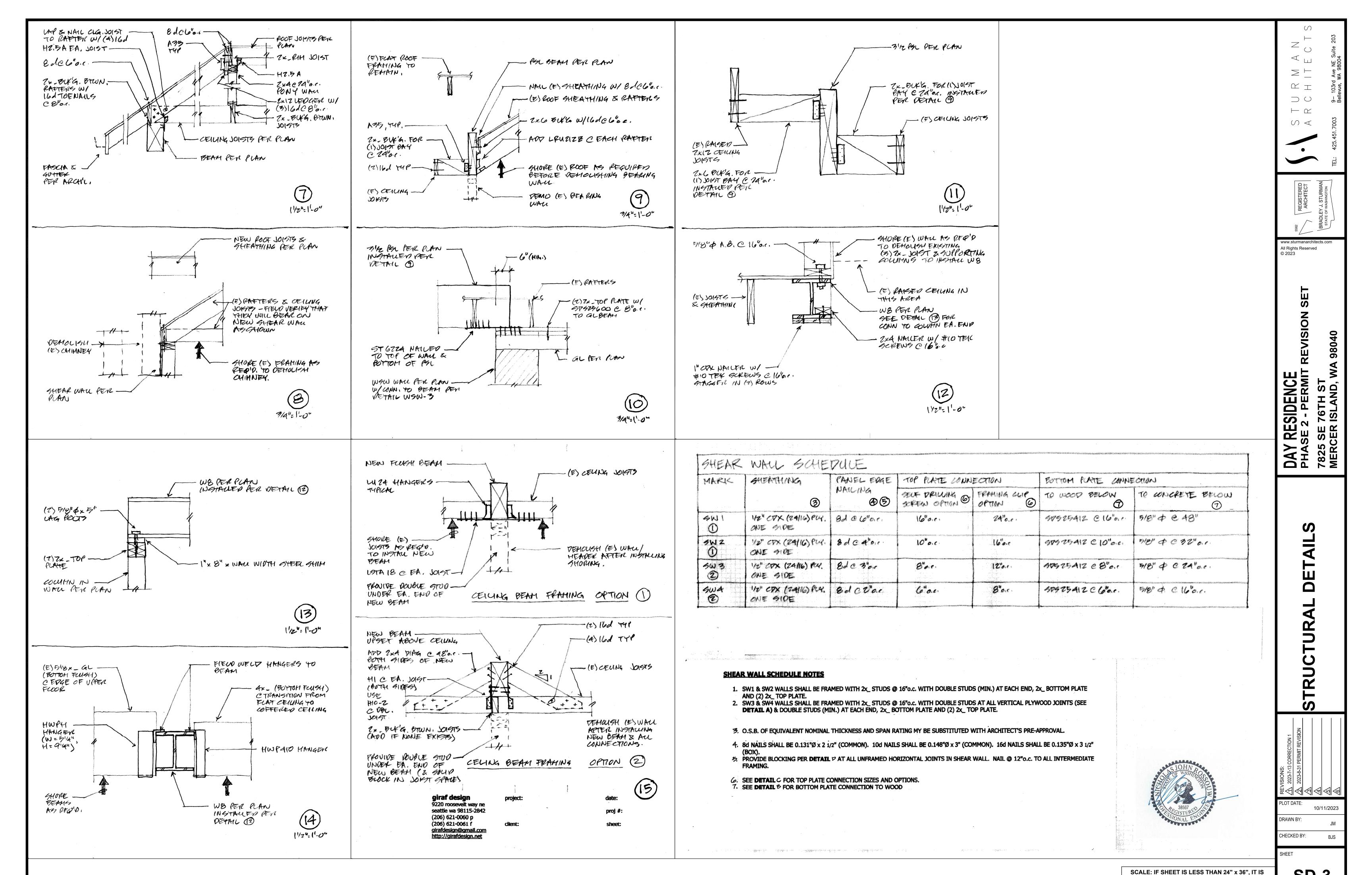
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