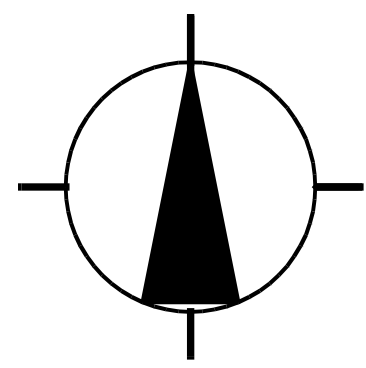


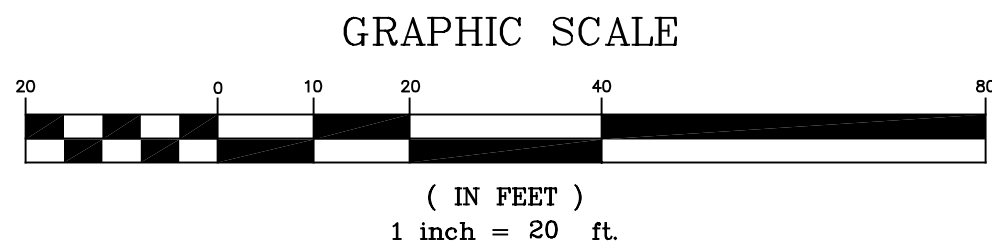
SW 1/4, SE 1/4, SECTION 25, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M.



NORTH
SCALE: 1" = 20'

BASIS OF BEARING
CENTERLINE BEARING OF SE 75TH PLACE BETWEEN
78TH AVE SE AND THE PC TO THE EAST
BEARING: N 88° 45' 04" W; DISTANCE=128.53' PLAT AND MEAS.
REFERENCES: PLAT OF MERCER TERRACE NO.2
RECORDED IN VOL 71 OF PLATS, PAGE 39

CITY OF MERCER ISLAND SHORT PLAT NO. MI SP 87-06-08
RECORDING NO. 8706159002



LEGEND:

- ⊙ Set 1/2" Rebar w/YPC #52084
- ✕ Found Tack in Lead
- ⊗ Exist. Mon. in Case
- ⊙ Found Rebar
- (Meas) Measured Distance
- (P) Plat Bearing or Distance
- (R) Record Bearing or Distance

LEGAL DESCRIPTION

LOT 'A'. CITY OF MARCER ISLAND SHORT NO. MI SP 87-0608, AS RECORDED IN VOLUME 57 OF SURVEYS, PAGES 158 TO 158A, UNDER RECORDING NO. 8709159002, RECORDS OF KING COUNTY, WASHINGTON.

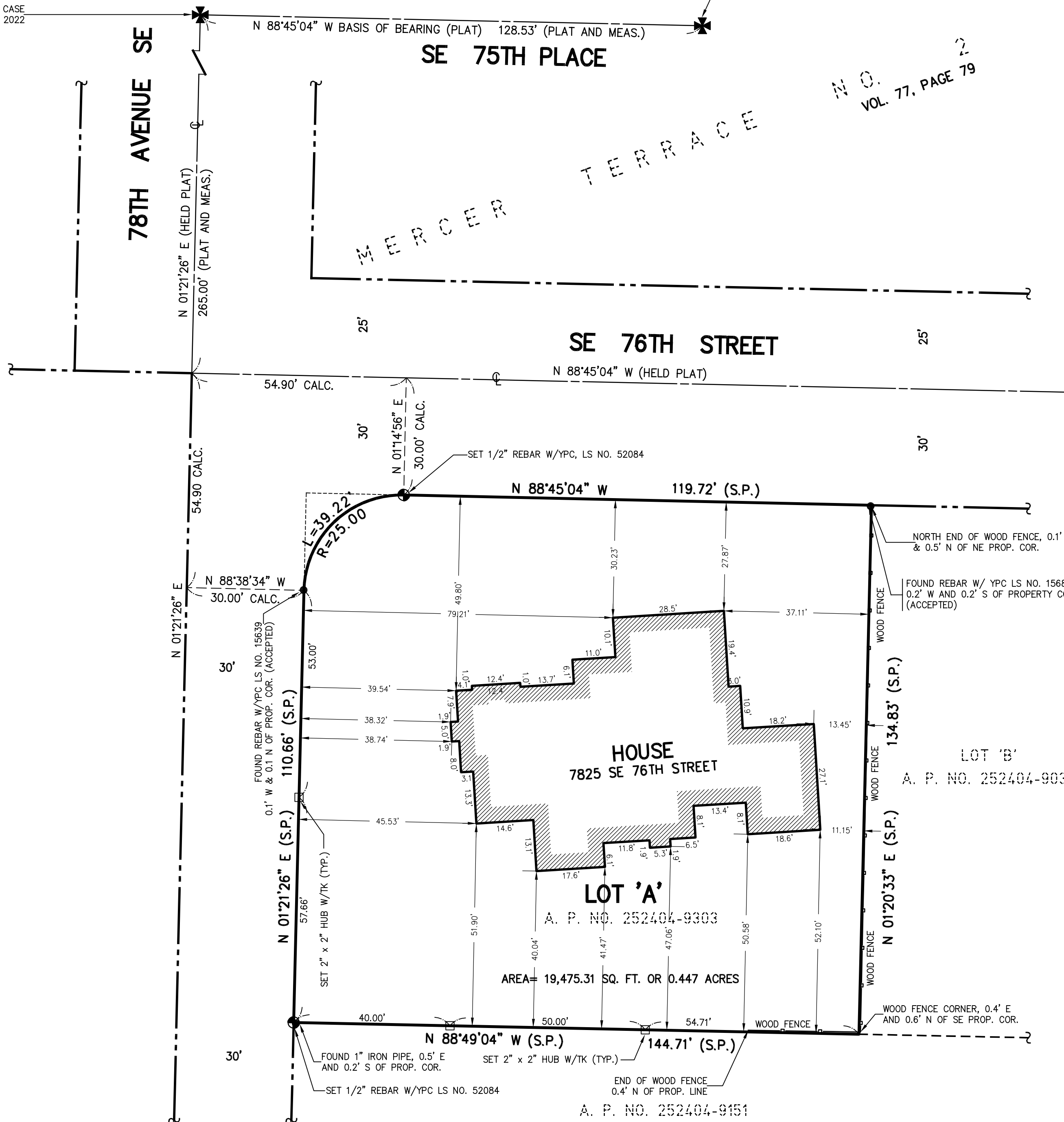
SITUATE IN THE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

NOTES:

1. TITLE REPORT WAS NOT PROVIDED ON THIS SURVEY. PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHTS, COVENANTS, RESTRICTIONS, PROVISIONS OF RECORD, IF ANY.
2. THIS SURVEY WAS ACCOMPLISHED USING A ONE SECOND NIKON TOTAL STATION THEODOLITE AND ELECTRONIC MEASURING UNIT. POSITIONS WERE ADJUSTED USING COMPASS RULE AND ALL DISTANCES ARE REDUCED TO HORIZONTAL. CLOSURES MEET OR EXCEED THE REQUIRED STANDARDS OF ACCURACY FOR THE CITY OF MERCER ISLAND OR STATE OF WASHINGTON. WAC 332-130-090.
3. THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED AND/OR DEVELOPED BY THE THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.

EXISTING MON IN CASE
VISITED APRIL 4, 2022

EXISTING MON IN CASE, P.C. MON
VISITED APRIL 5, 2022



N.O.
VOL. 77, PAGE 79

RECORDER'S CERTIFICATE

Filed for record this _____ day of _____, 2022, at _____ M. in book _____ of _____ at the request of HONG LIEU.

Manager

Supt. of Records

SURVEYOR'S CERTIFICATE

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of BOB AND JULIE DAY.

Hong Lieu, P.L.S. No. 52084

CLIENT

BOB AND JULIE DAY

BOUNDARY SURVEY
LOT 'A', MI SP 87-06-08, RE. NO. 8709159002
7825 SE 76TH STREET
MERCER ISLAND, WASHINGTON 98040

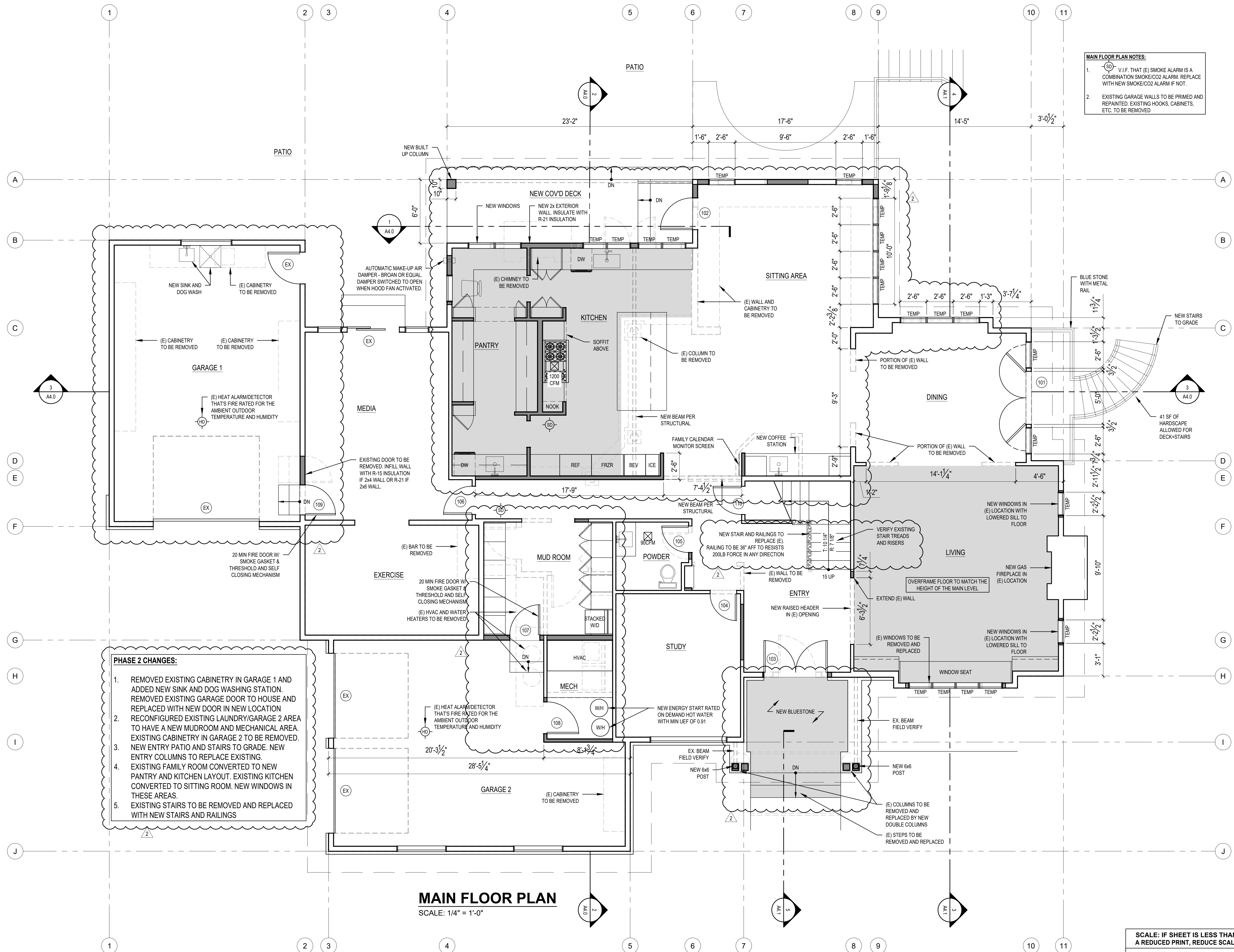
TRAVERSE LAND SURVEYING AND MAPPING

Boundaries, A.L.T.A. Surveys, Topographic, Lot Line
Adjustments, Short Plats, Unit Sub-Division

14745 SE 187TH CT * RENTON, WASHINGTON 98058 * TEL: 206-949-0001

Drawn by: DBA	Date: MAY. 2022	Job No. 2022-211
Checked by: KT	Scale: 1"=20'	Sheet 1 of 1





MAIN FLOOR PLAN NOTES:

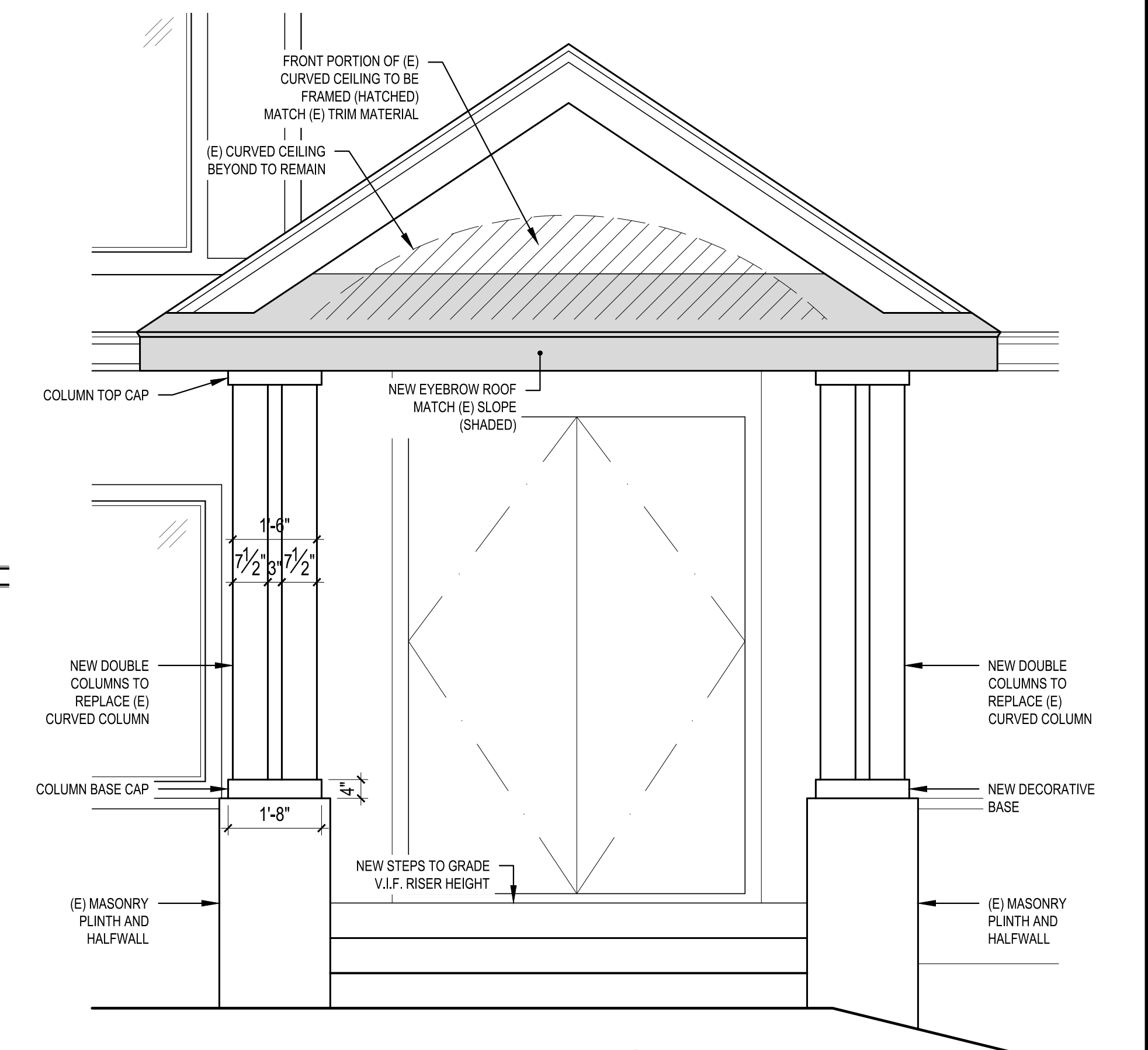
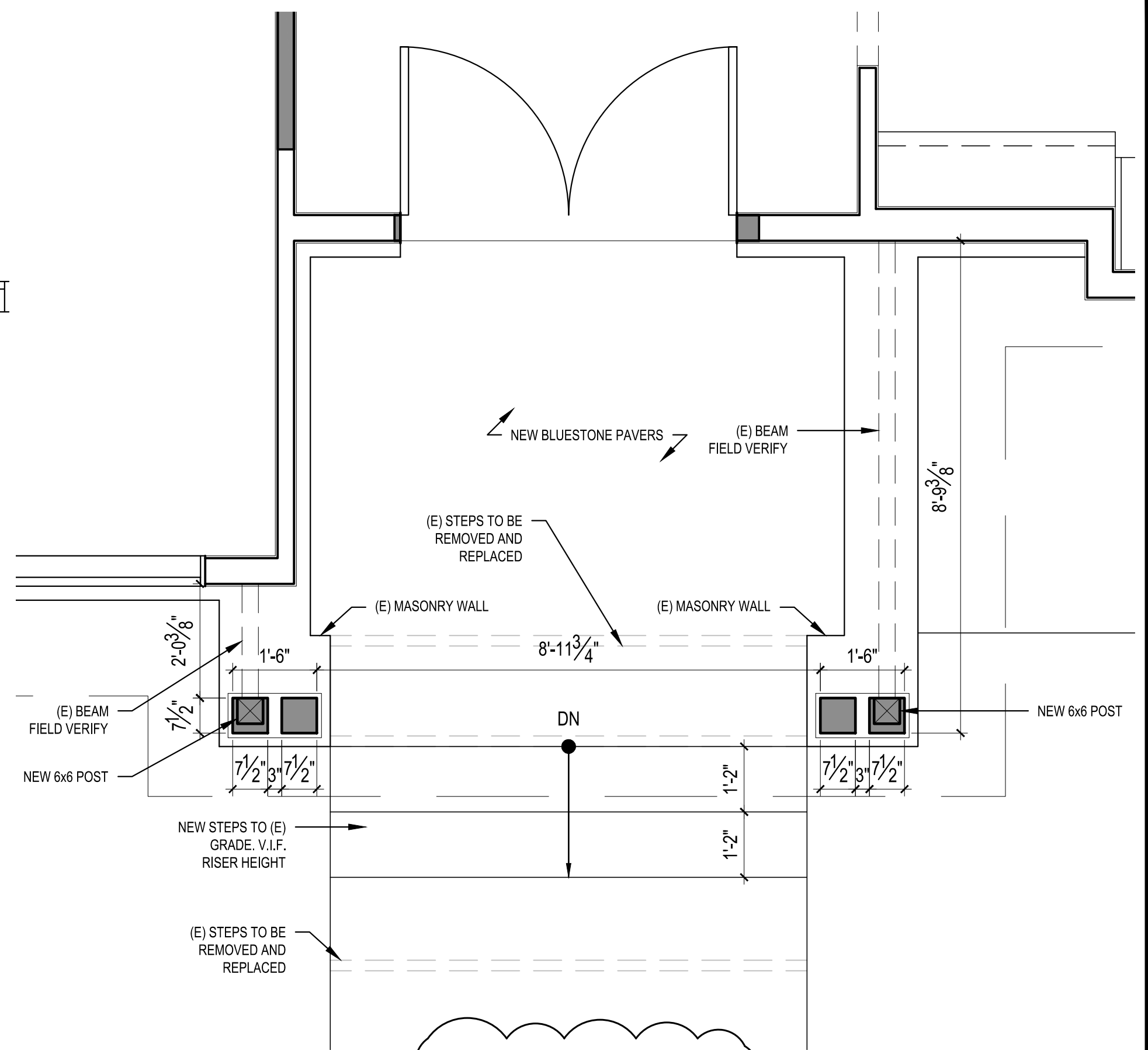
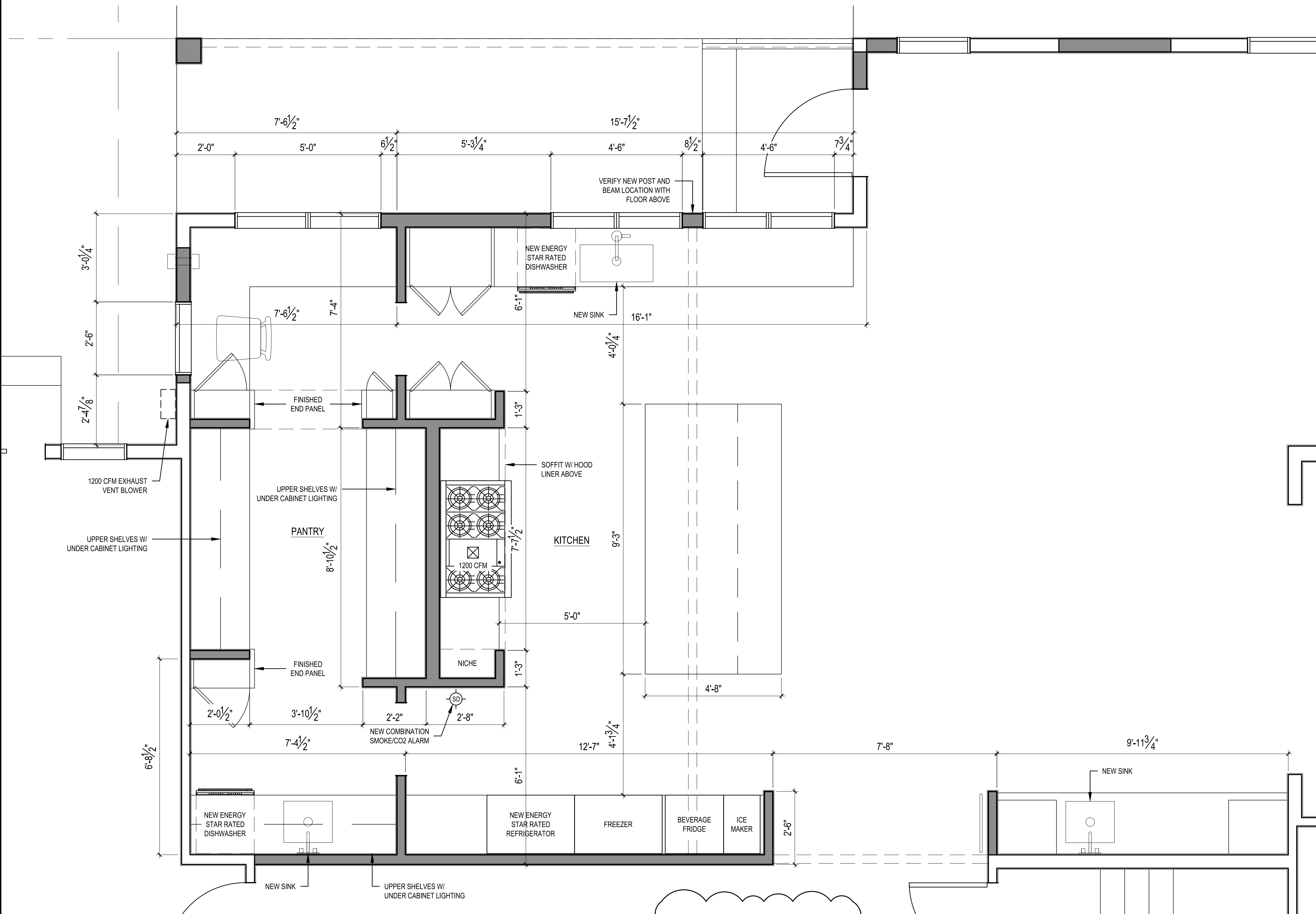
- V.I.F. THAT (E) SMOKE ALARM IS A COMBINATION SMOKE/CO2 ALARM. REPLACE WITH NEW SMOKE/CO2 ALARM IF NOT.
- EXISTING GARAGE WALLS TO BE PRIMED AND REPAINTED. EXISTING HOOKS, CABINETS, ETC. TO BE REMOVED

PHASE 2 CHANGES:

- REMOVED EXISTING CABINERY IN GARAGE 1 AND ADDED NEW SINK AND DOG WASHING STATION. REMOVED EXISTING GARAGE DOOR TO HOUSE AND REPLACED WITH NEW DOOR IN NEW LOCATION
- RECONFIGURED EXISTING LAUNDRY/GARAGE 2 AREA TO HAVE A NEW MUDROOM AND MECHANICAL AREA. EXISTING CABINERY IN GARAGE 2 TO BE REMOVED.
- NEW ENTRY PATIO AND STAIRS TO GRADE. NEW ENTRY COLUMNS TO REPLACE EXISTING.
- EXISTING FAMILY ROOM CONVERTED TO NEW PANTRY AND KITCHEN LAYOUT. EXISTING KITCHEN CONVERTED TO SITTING ROOM. NEW WINDOWS IN THESE AREAS.
- EXISTING STAIRS TO BE REMOVED AND REPLACED WITH NEW STAIRS AND RAILINGS

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

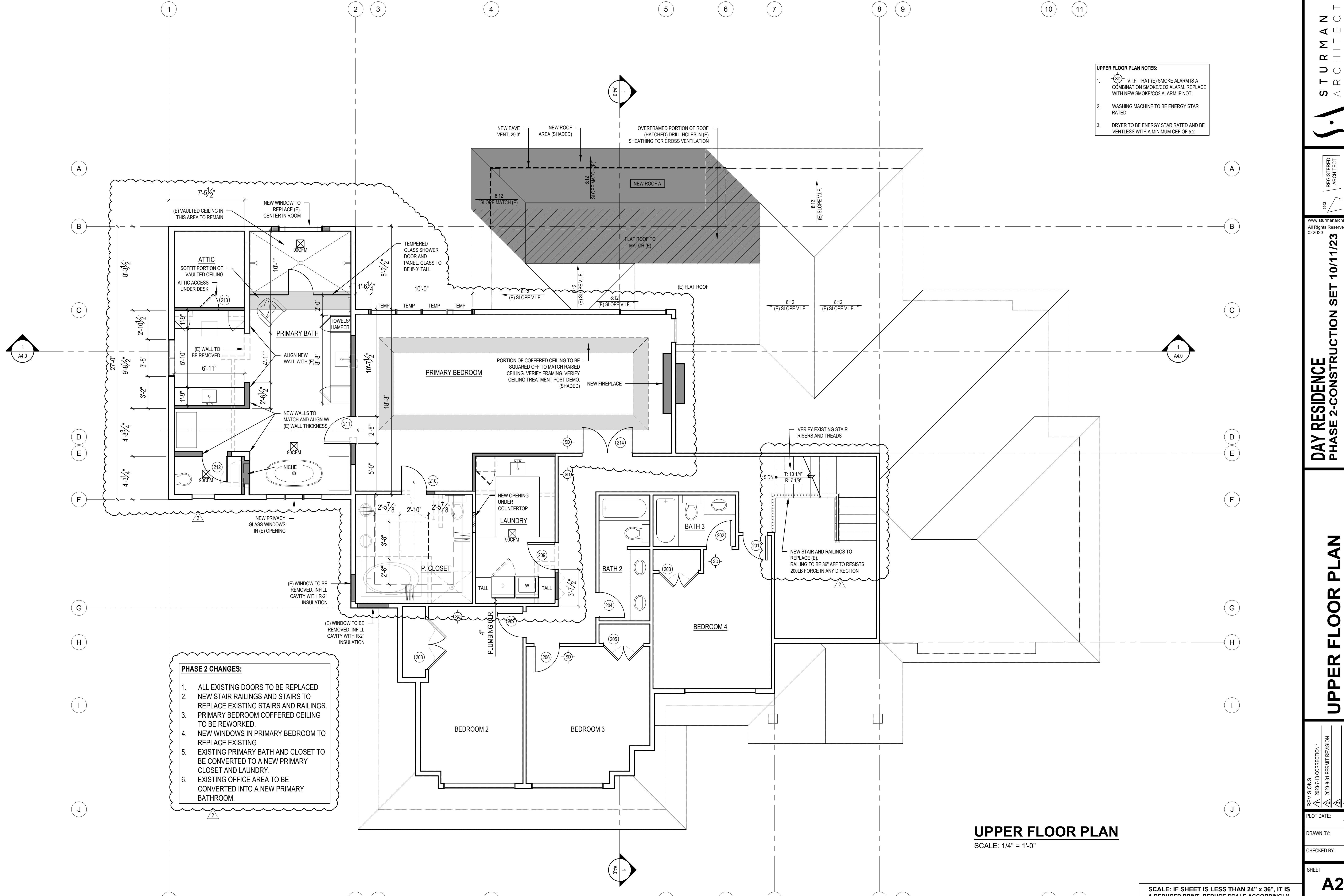
REVISIONS:	2023-1-13 CORRECTION 1
	2023-5-31 PERMIT REVISION
PLOT DATE:	10/25/2023
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	A2.0



SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PHASE 2 PERMIT REVISION SET 10/10/2023

REVISIONS:	DATE	DESCRIPTION
1	2023-11-13	CORRECTION 1
2	2023-11-13	PERMIT REVISION

PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS



UPPER FLOOR PLAN NOTES:

1. V.I.F. THAT (E) SMOKE ALARM IS A COMBINATION SMOKE/CO2 ALARM. REPLACE WITH NEW SMOKE/CO2 ALARM IF NOT.
2. WASHING MACHINE TO BE ENERGY STAR RATED.
3. DRYER TO BE ENERGY STAR RATED AND BE VENTLESS WITH A MINIMUM CEF OF 5.2.

PHASE 2 CHANGES:

1. ALL EXISTING DOORS TO BE REPLACED
2. NEW STAIR RAILINGS AND STAIRS TO REPLACE EXISTING STAIRS AND RAILINGS.
3. PRIMARY BEDROOM COFFERED CEILING TO BE REWORKED.
4. NEW WINDOWS IN PRIMARY BEDROOM TO REPLACE EXISTING
5. EXISTING PRIMARY BATH AND CLOSET TO BE CONVERTED TO A NEW PRIMARY CLOSET AND LAUNDRY.
6. EXISTING OFFICE AREA TO BE CONVERTED INTO A NEW PRIMARY BATHROOM.

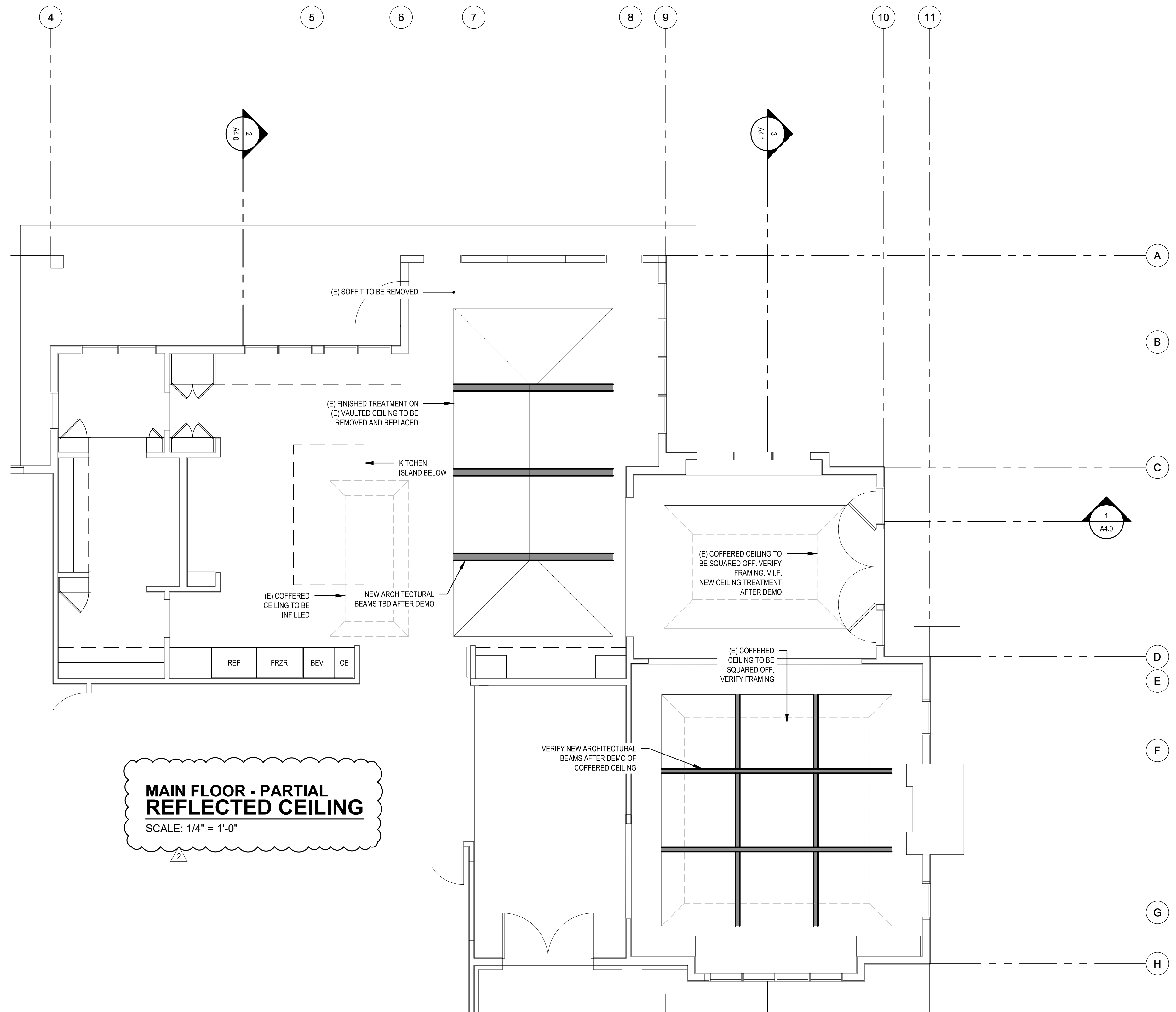
UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PHASE 2 CONSTRUCTION SET 10/11/2023

REVISIONS:	DATE	DESCRIPTION
1	2023-11-13	CORRECTION 1
2	2023-11-31	PERMIT REVISION

PLOT DATE: 10/25/2023
DRAWN BY: JM
CHECKED BY: BJS

SHEET **A2.2**



MAIN FLOOR - PARTIAL REFLECTED CEILING
SCALE: 1/4" = 1'-0"

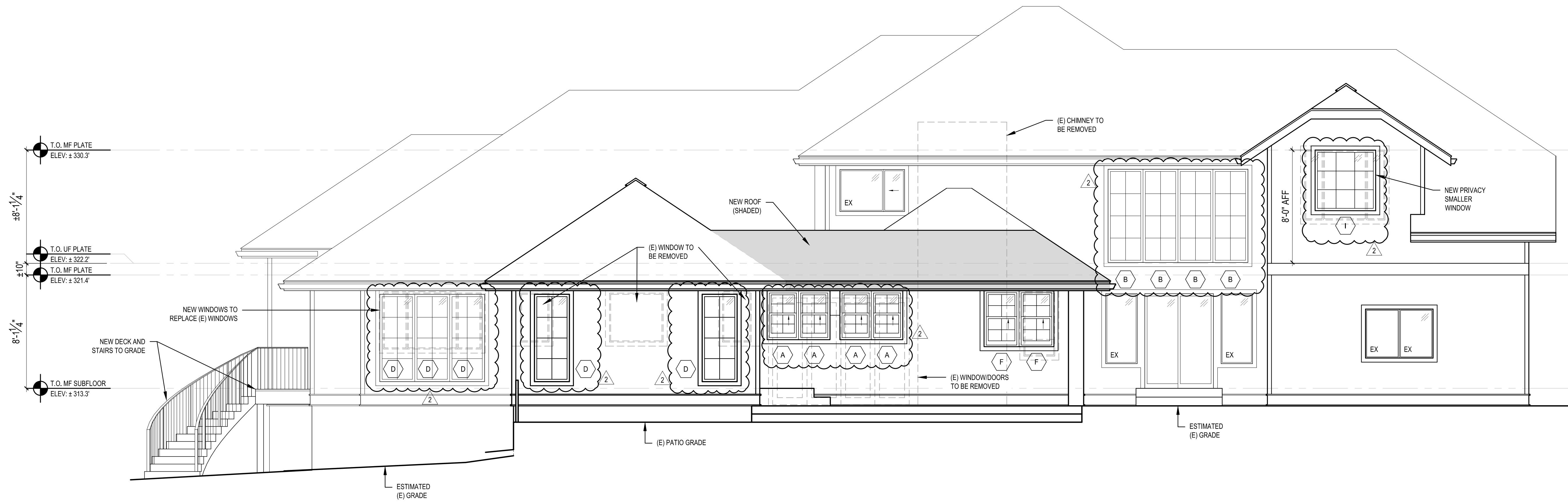
REVISIONS:

2023-13 CORRECTION 1	
2023-31 PERMIT REVISION	

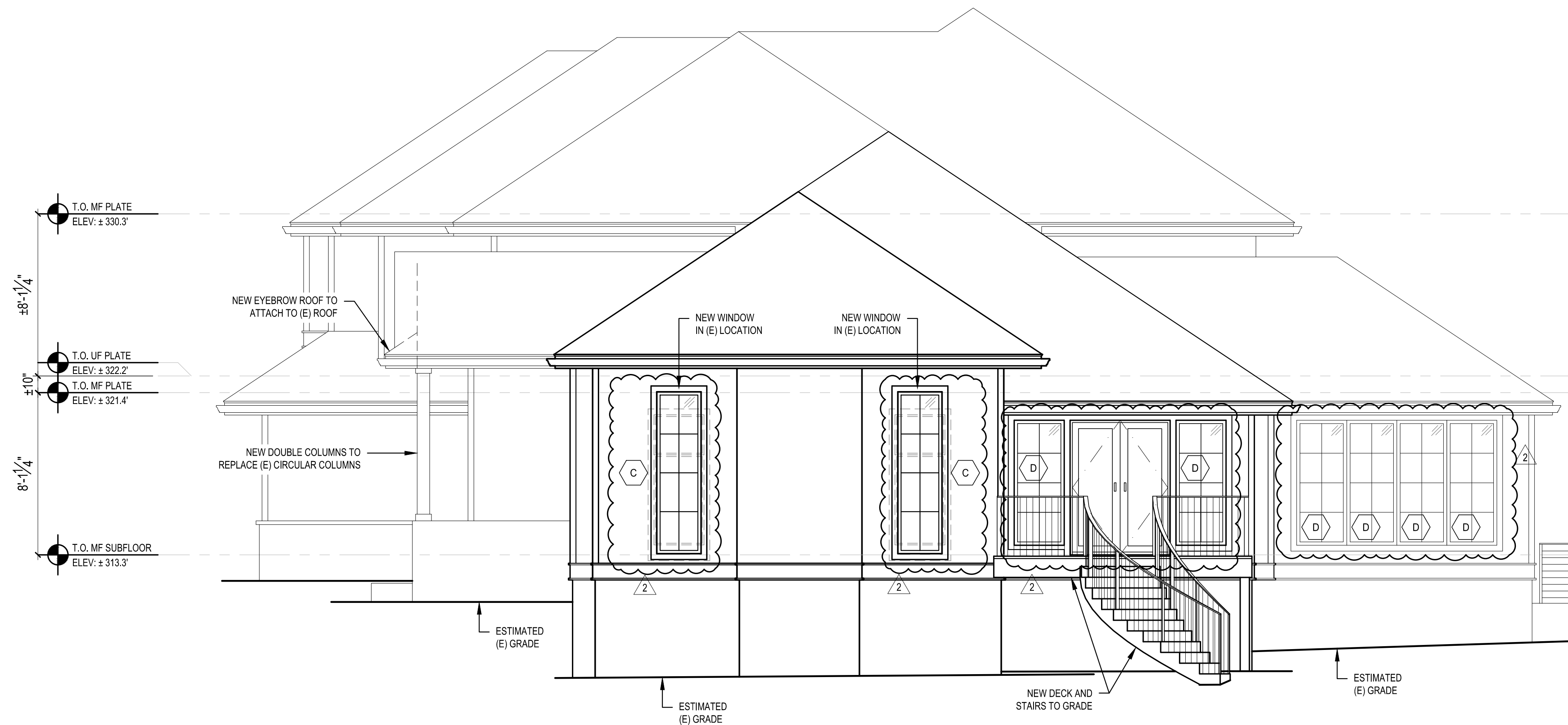
PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS

SHEET
A2.3

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PHASE 2 PERMIT REVISION SET 10/10/2023



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:

2023-1-13 CORRECTION 1	
2023-3-31 PERMIT REVISION	

PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS

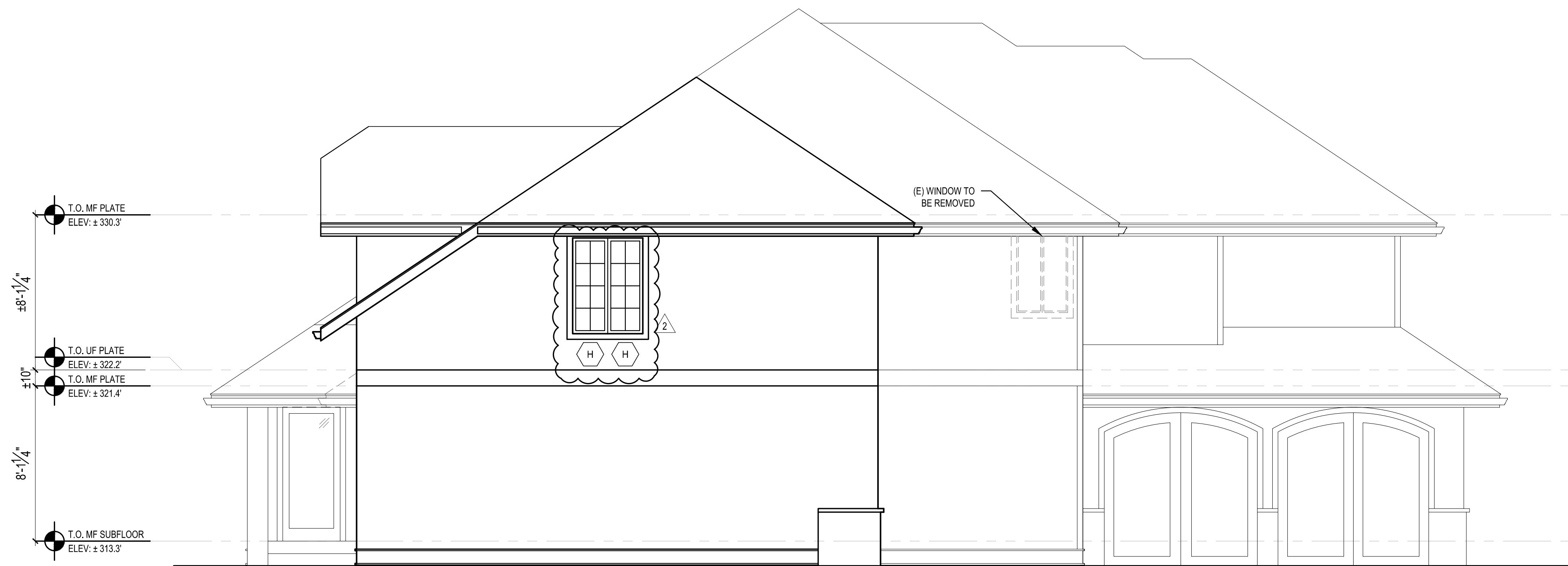
SHEET
A3.0

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

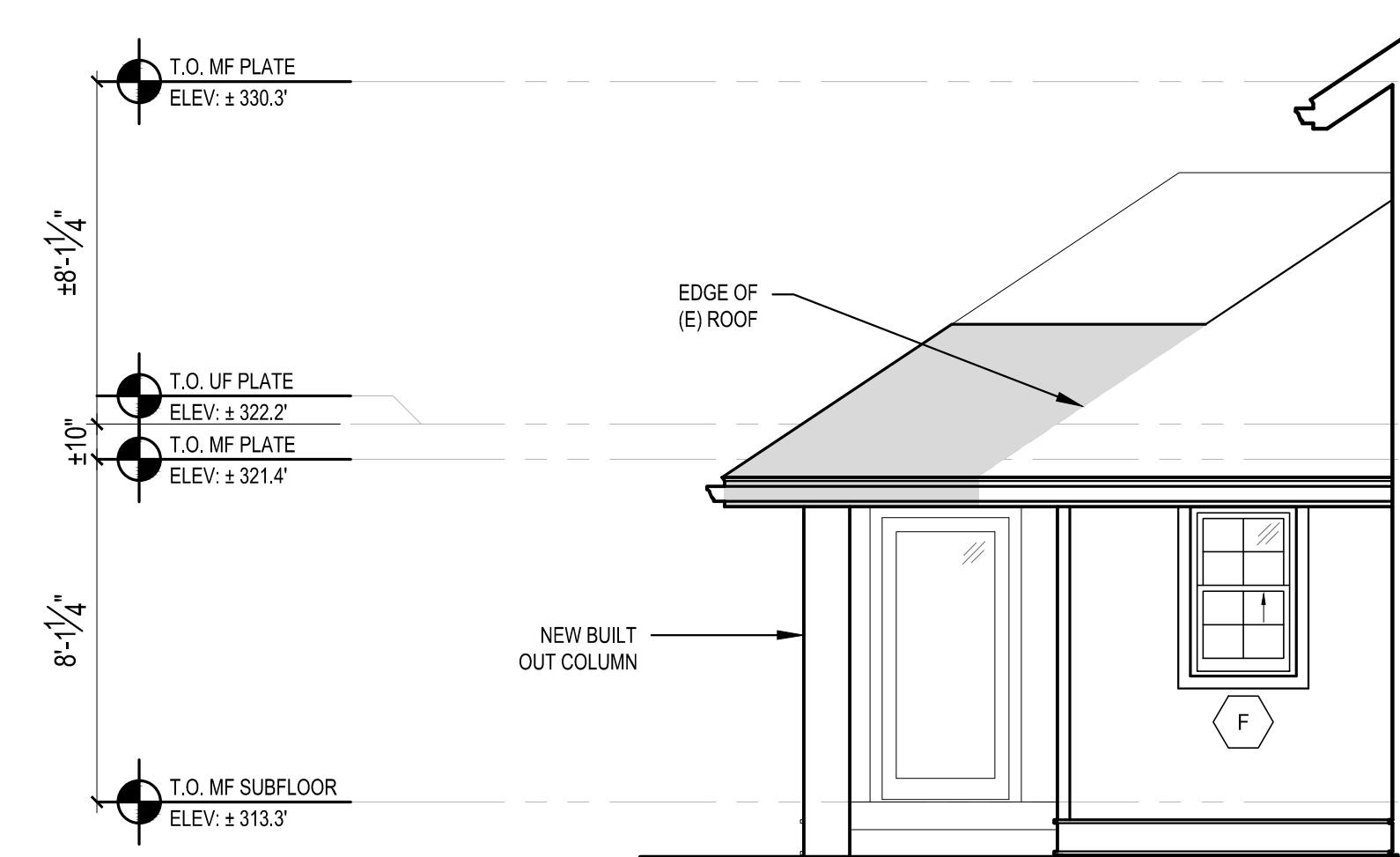
PHASE 2 PERMIT REVISION SET 10/10/2023



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



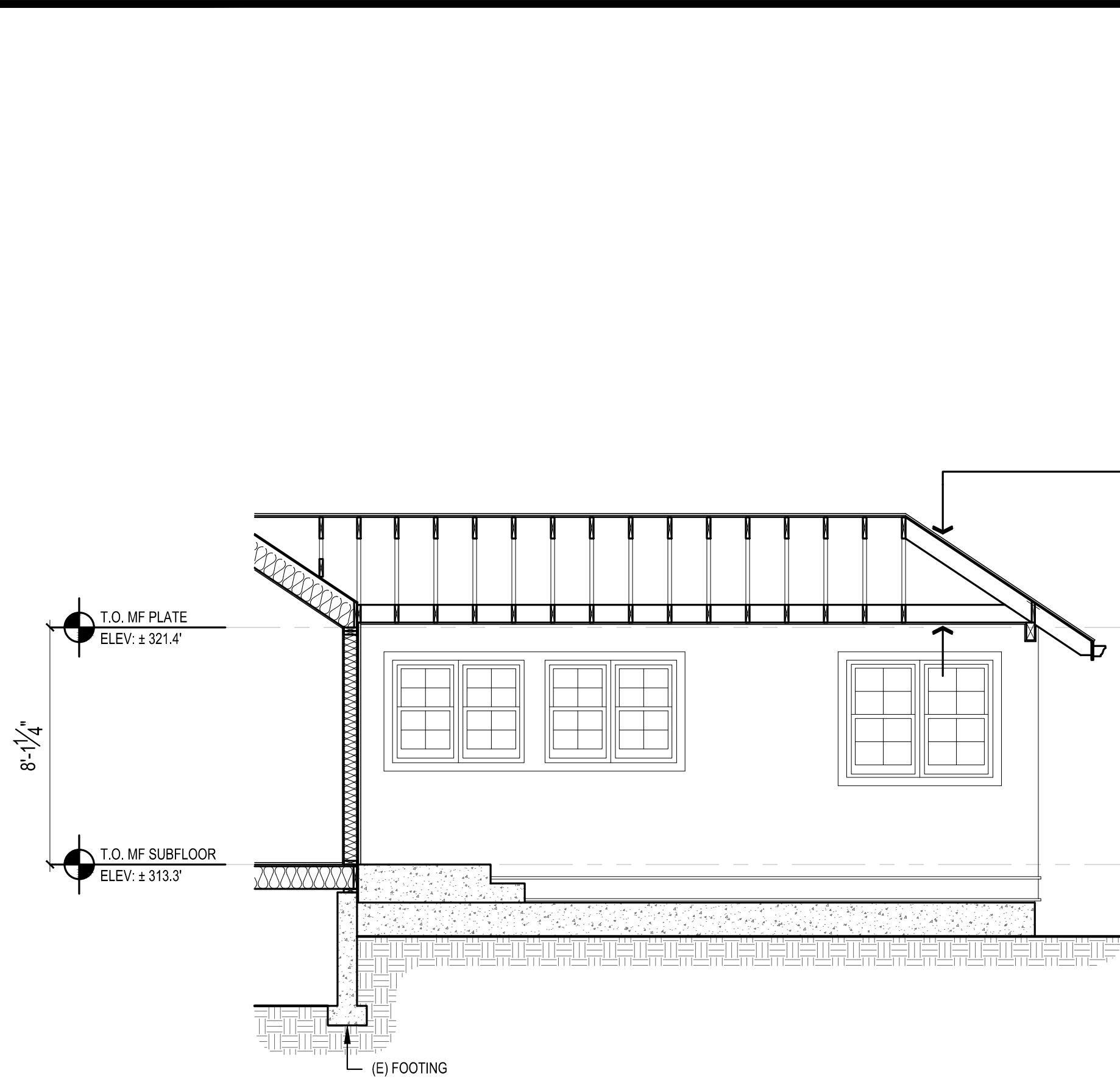
5 @ EXTENDED ROOF EAST ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PHASE 2 PERMIT REVISION SET 10/10/2023

REVISIONS:
2023-7-13 CORRECTION 1
2023-8-31 PERMIT REVISION

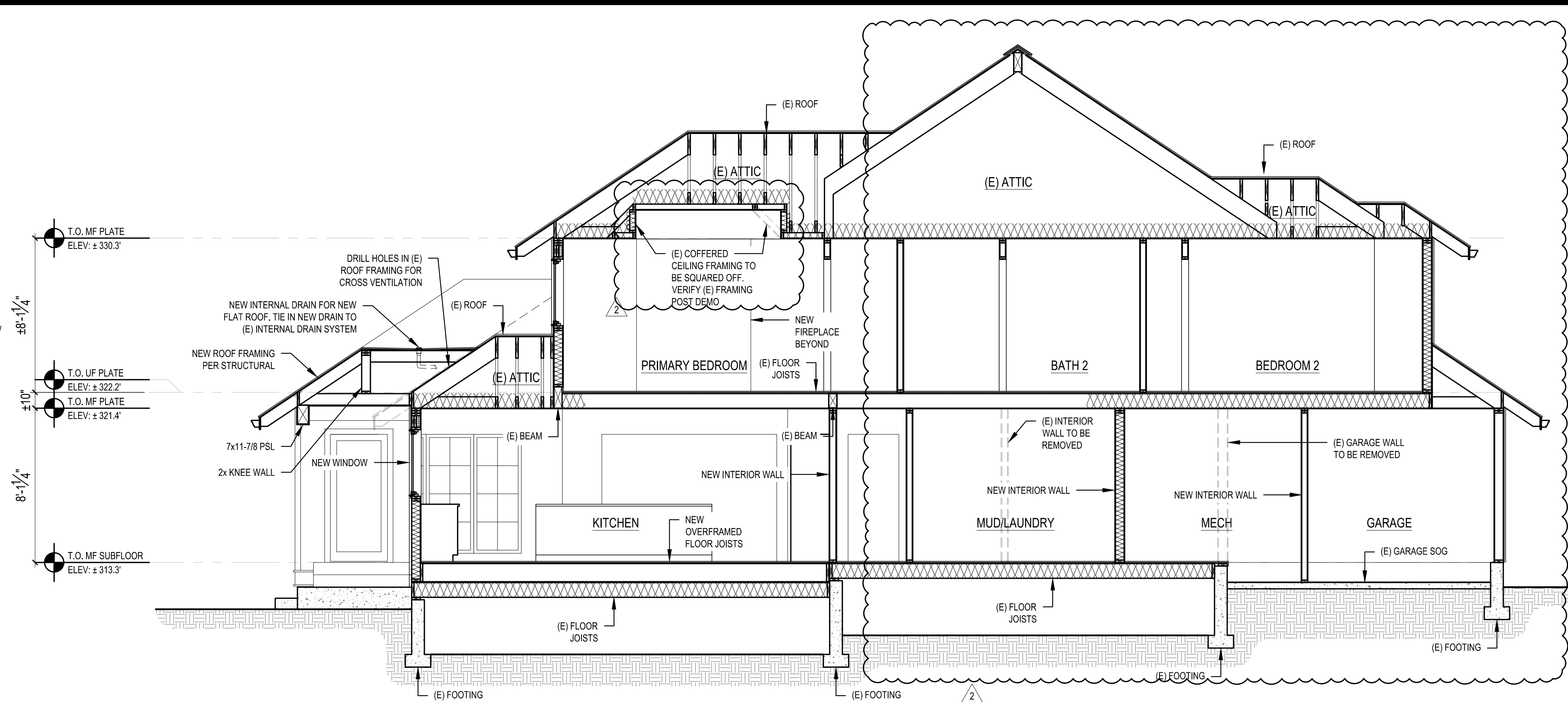
PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS

SHEET
A3.1

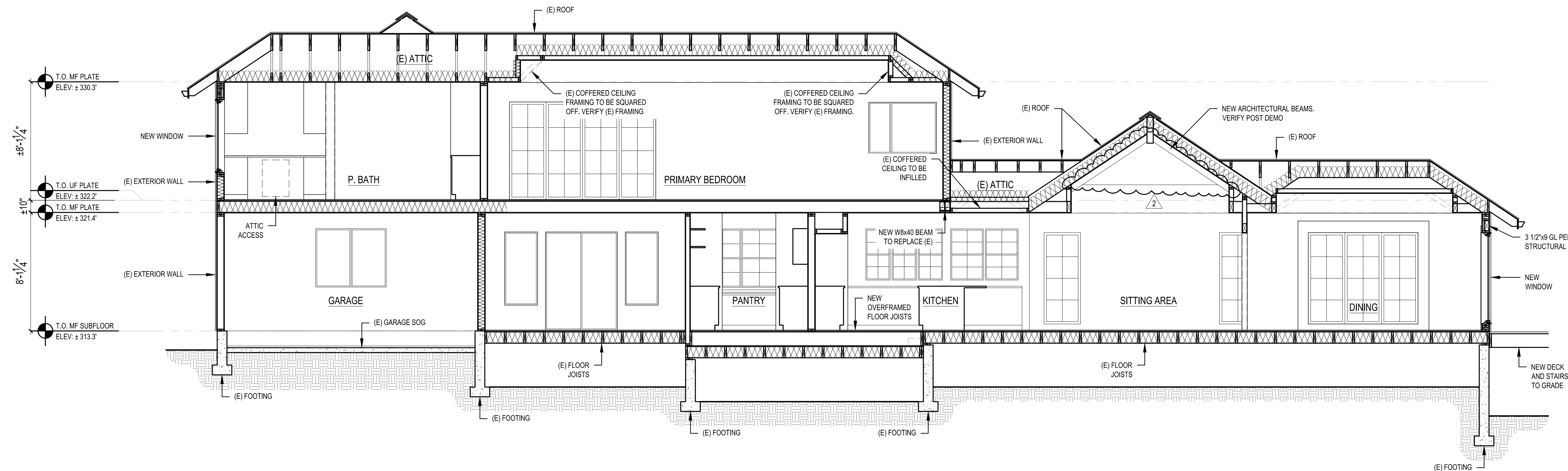


ROOF CONSTRUCTION:
 ROOFING TO MATCH (E) OF UNDERLAYMENT OR 30# BUILDING FELT OF SHEATHING PER STRUCTURAL JOISTS PER STRUCTURAL W/ 3/4" T&G CEDAR SOFFIT

1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

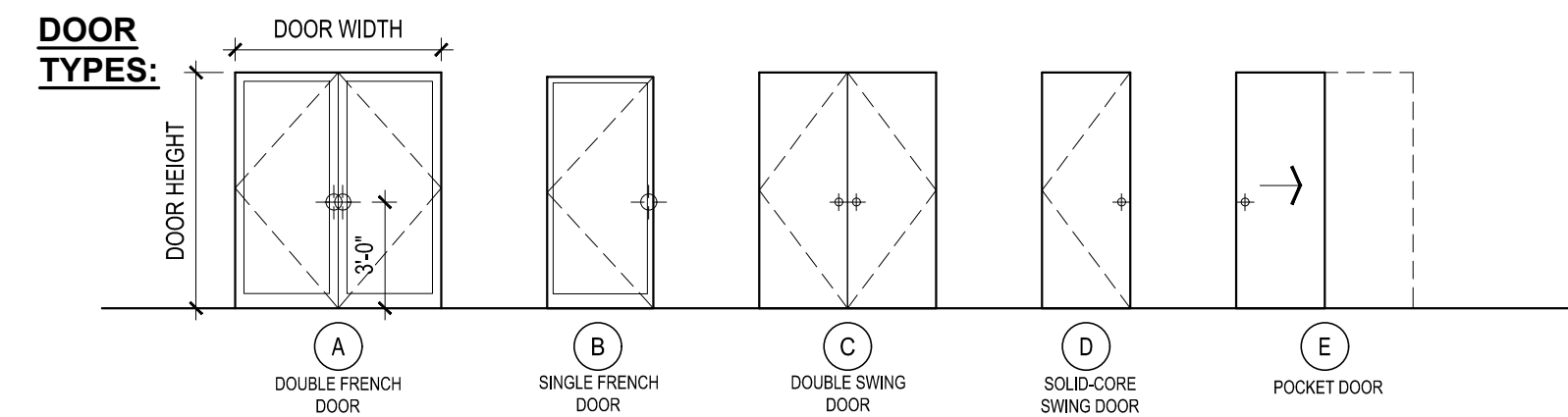


3 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PHASE 2 PERMIT REVISION SET 10/10/2023

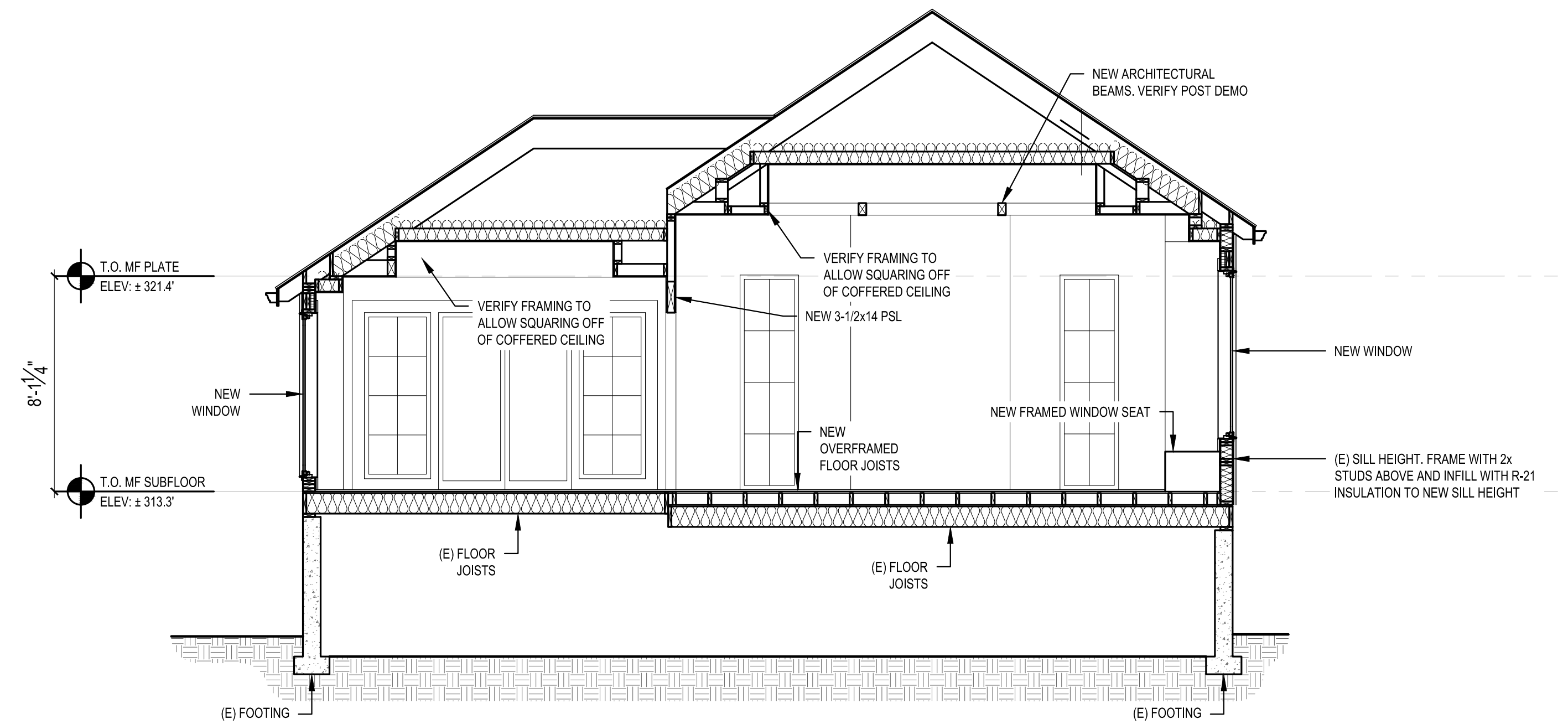
REVISIONS:	
2023-13 CORRECTION 1	
2023-03-31 PERMIT REVISION	
PLOT DATE:	10/11/2023
DRAWN BY:	JM
CHECKED BY:	BJS

ROOF VENT CALCULATIONS										
CODE REQUIREMENT			CALCULATIONS					ACTUAL		
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE		VENT L.F.	TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF	
		PER SF AREA	PER SF AREA	RIDGE	EAVE				FACTOR	TOTAL
ROOF A ADDITION	296	1.97	150	300	10 SQ.IN./FT.	29.3	527.4	3.66	2.93	2.93
					12 SQ.IN./FT.		0	0.00	0.00	
					1.5x1.0" VENT					
					CONTINUOUS		0	0.00	0.00	
							0	0.00	0.00	

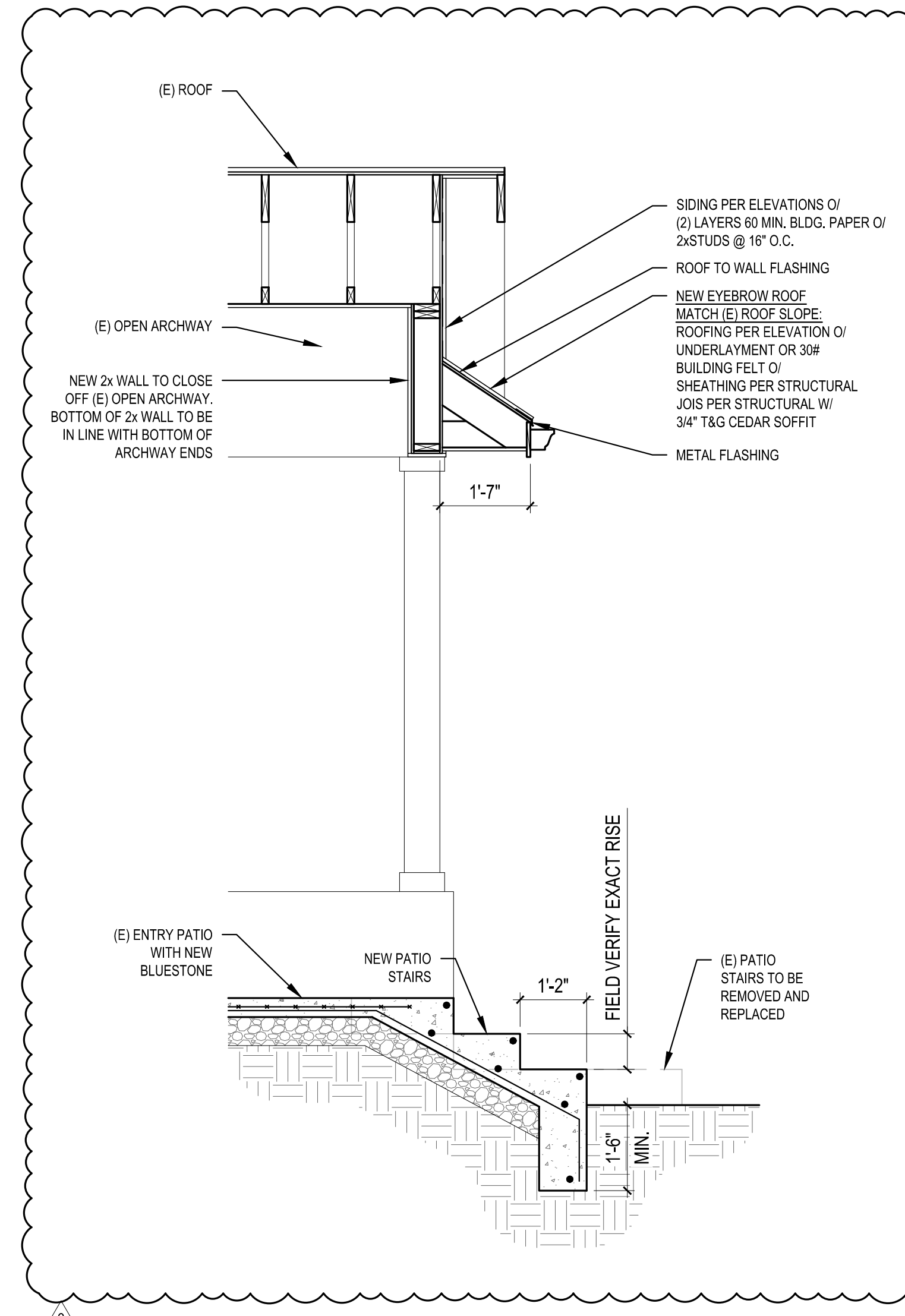


DOOR SCHEDULE									
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS	
MAIN FLOOR									
101	DINING	PR 2' - 6"	6' - 8"	A	Y	1-3/4"	0.28	GRID. MATCH GRID WITH ADJACENT WINDOWS OR SIMILAR	
102	KITCHEN	2' - 6"	6' - 8"	B	Y	1-3/4"	0.28		
103	ENTRY	PR 3' - 0"	8' - 6"	C		1-3/4"			
104	STUDY	2' - 6"	6' - 8"	D		1-3/4"			
105	POWDER	2' - 6"	6' - 8"	D		1-3/4"			
106	MEDIA	2' - 8"	6' - 8"	A		1-3/4"			
107	LAUNDRY	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING	
108	MECHANICAL	3' - 0"	6' - 8"	D		1-3/4"			
109	MEDIA	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING	
110	STAIR CLOSET	2' - 8"	6' - 8"	A		1-3/4"			
UPPER FLOOR									
201	BEDROOM 4	2' - 4"	6' - 8"	D		1-3/4"			
202	BATH 3	2' - 6"	6' - 8"	D		1-3/4"			
203	BEDROOM 4	PR 2' - 0"	6' - 8"	C		1-3/4"			
204	BATH 2	2' - 6"	6' - 8"	D		1-3/4"			
205	BEDROOM 3	PR 2' - 0"	6' - 8"	C		1-3/4"			
206	BEDROOM 3	2' - 6"	6' - 8"	D		1-3/4"			
207	BEDROOM 2	2' - 6"	6' - 8"	D		1-3/4"			
208	BEDROOM 2	PR 2' - 6"	6' - 8"	C		1-3/4"			
209	LAUNDRY	2' - 8"	6' - 8"	D		1-3/4"			
210	PRIMARY CLOSET	2' - 6"	6' - 8"	E		1-3/4"			
211	PRIMARY BATH	2' - 8"	6' - 8"	D		1-3/4"			
212	TOILET ROOM	2' - 6"	6' - 8"	D		1-3/4"			
213	ATTIC	2' - 6"	1' - 10"	D		1-3/4"		WALL MOUNTED ATTIC ACCESS	
214	PRIMARY BEDROOM	PR 2' - 6"	6' - 8"	C		1-3/4"			

WINDOW SCHEDULE									
TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	DOUBLE HUNG	2' - 3"	3' - 6"	Y	4	15.8	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
B	FIXED	2' - 6"	6' - 8"	Y	4	66.7	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
C	FIXED	2' - 2 1/2"	8' - 1"	Y	2	35.7	0.28	LOW E / CLEAR	GRID PER ELEVATION
D	FIXED	2' - 6"	6' - 3"	Y	11	171.9	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION, CONFIRM HEIGHT ON SITE
E	FIXED	2' - 2 1/2"	6' - 4"	Y	4	59.6	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION
F	DOUBLE HUNG	2' - 6"	4' - 0"	N	3	30	0.28	LOW E / CLEAR	GRID PER ELEVATION, 1 PAIR FACTORY JOINED
G	FIXED	1' - 10"	5' - 0"	Y	3	27.5	0.28	LOW E / CLEAR	PRIVACY GLASS, GRID PER ELEVATION, FACTORY JOINED
H	FIXED	1' - 10"	5' - 0"	Y	2	18.3	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED.
I	FIXED	4' - 4"	4' - 4"	Y	1	18.77	0.28	LOW E / CLEAR	48" SQ.IN. GLASS TO GLASS, PRIVACY GLASS, GRID PER ELEVATION

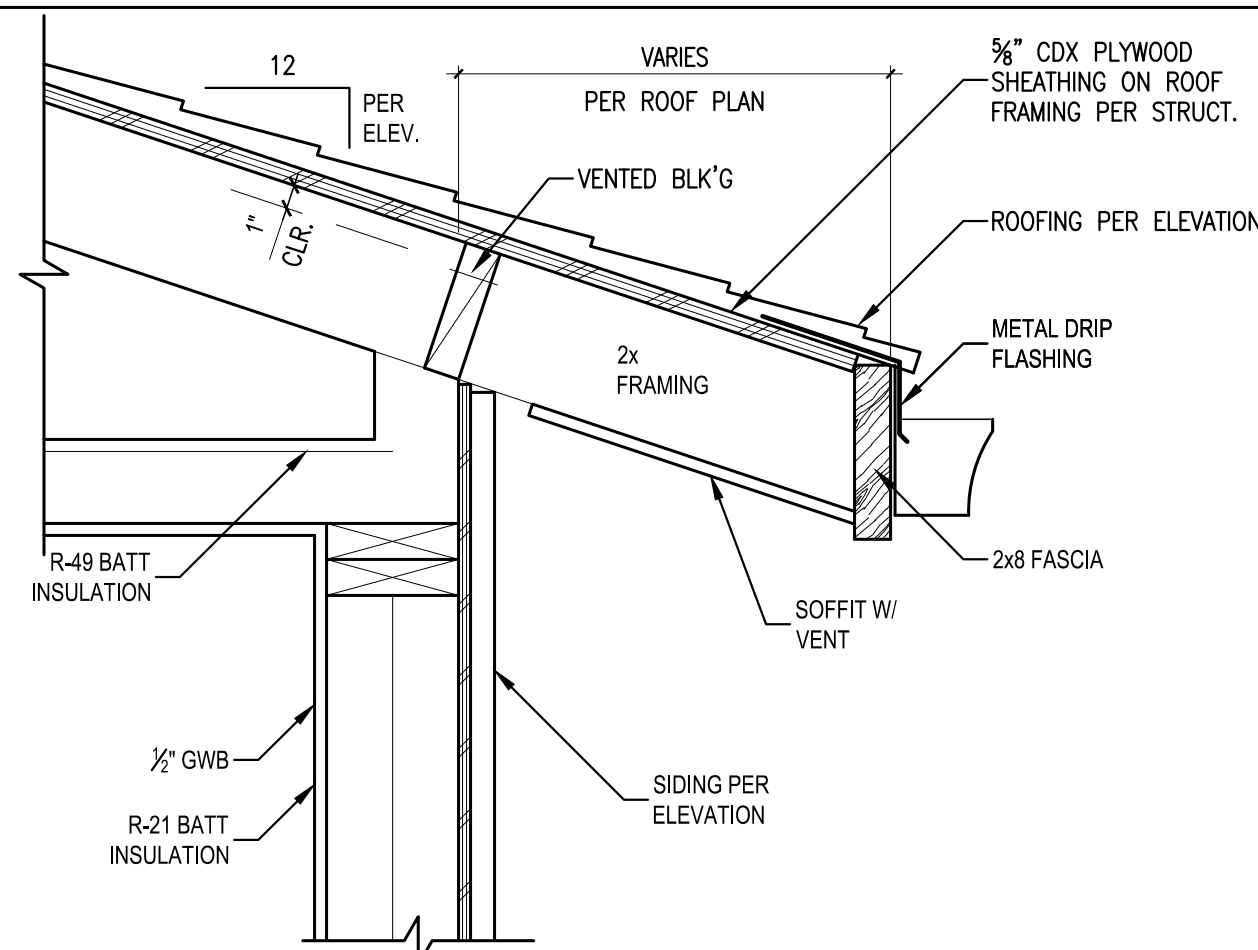


4 BUILDING SECTION
SCALE: 1/4" = 1'-0"

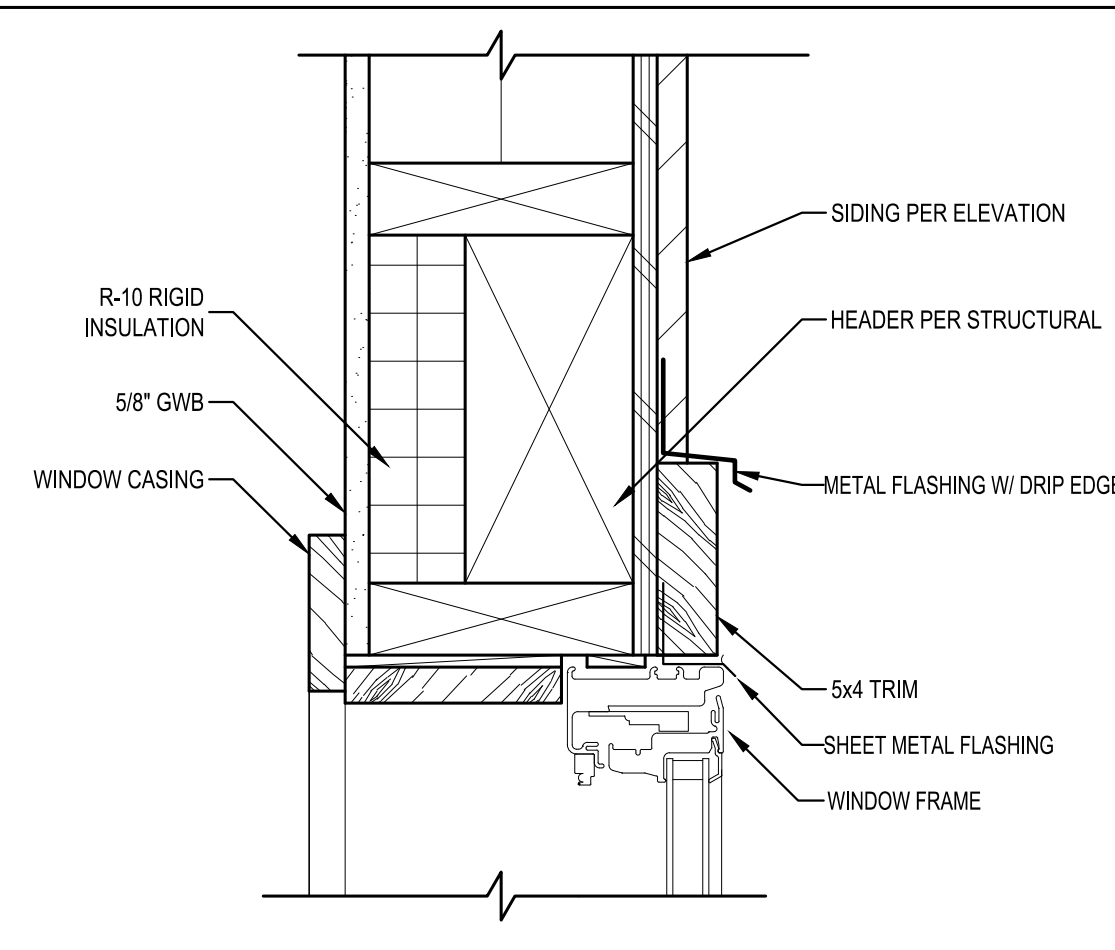


5 ENTRY SECTION
SCALE: 1/2" = 1'-0"

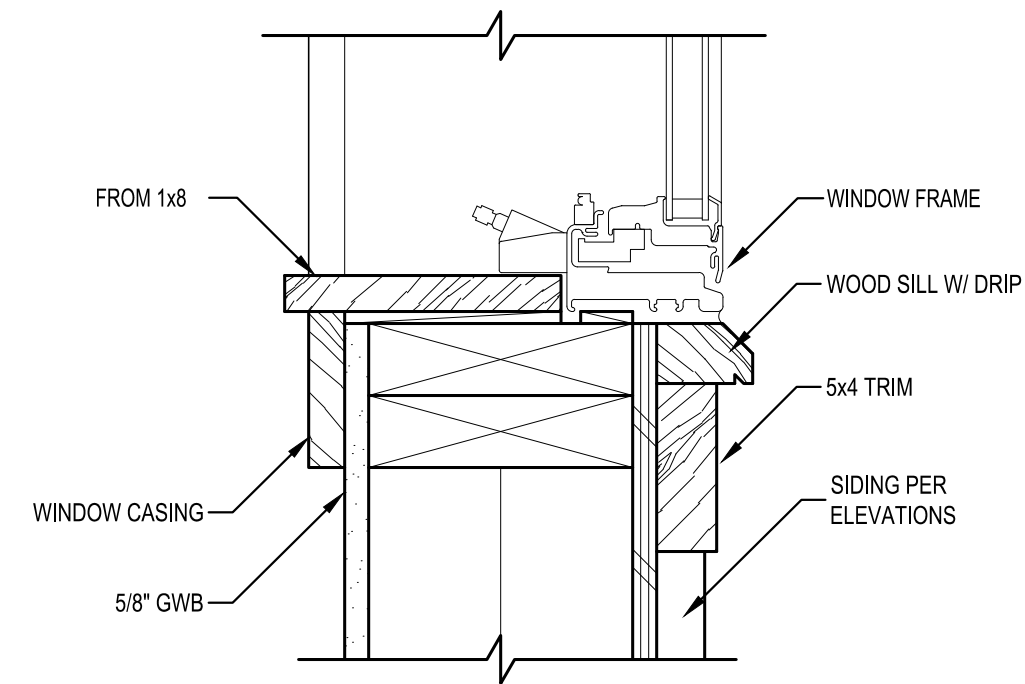
SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PHASE 2 PERMIT REVISION SET 10/10/2023



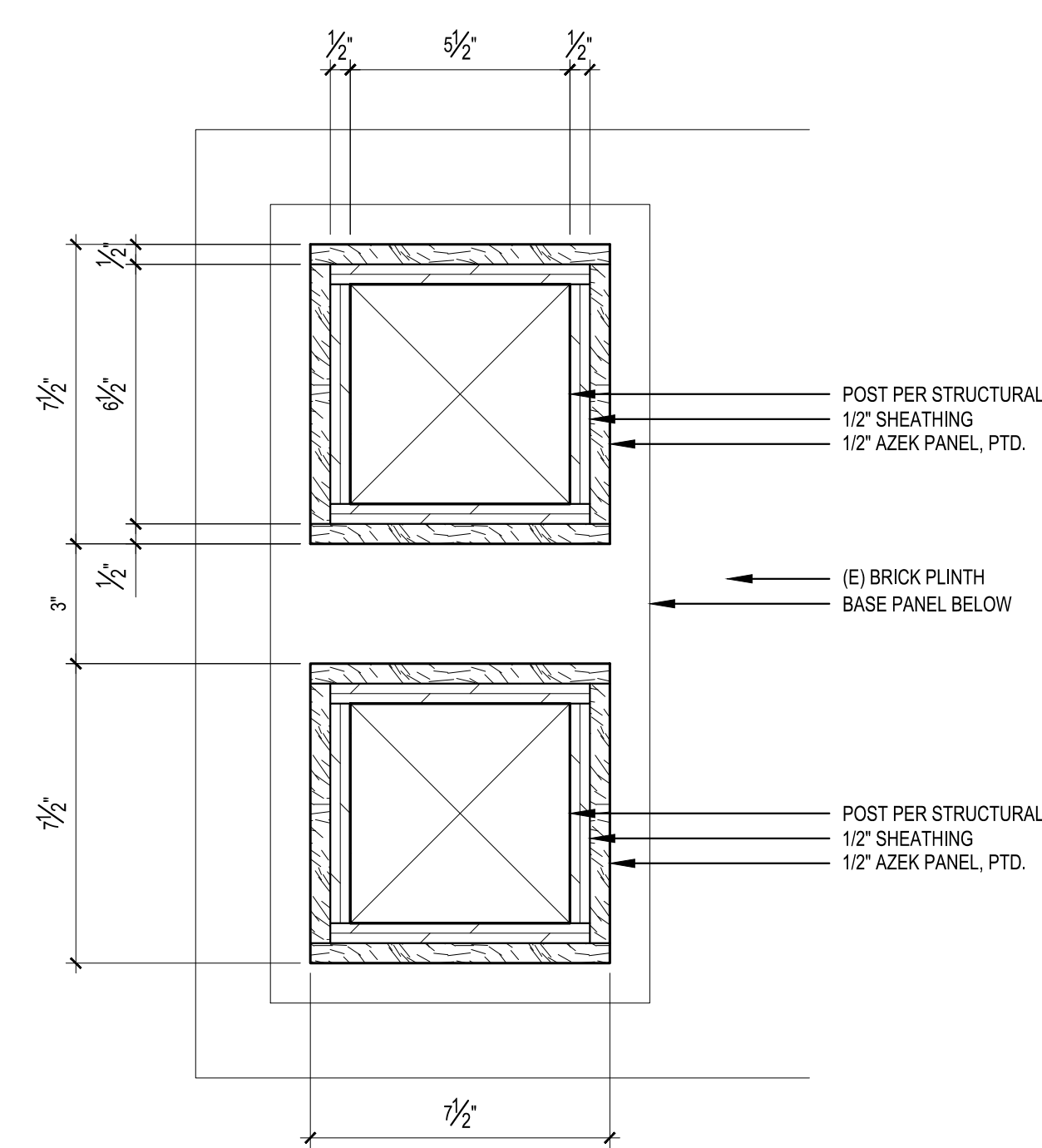
1 TYPICAL ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



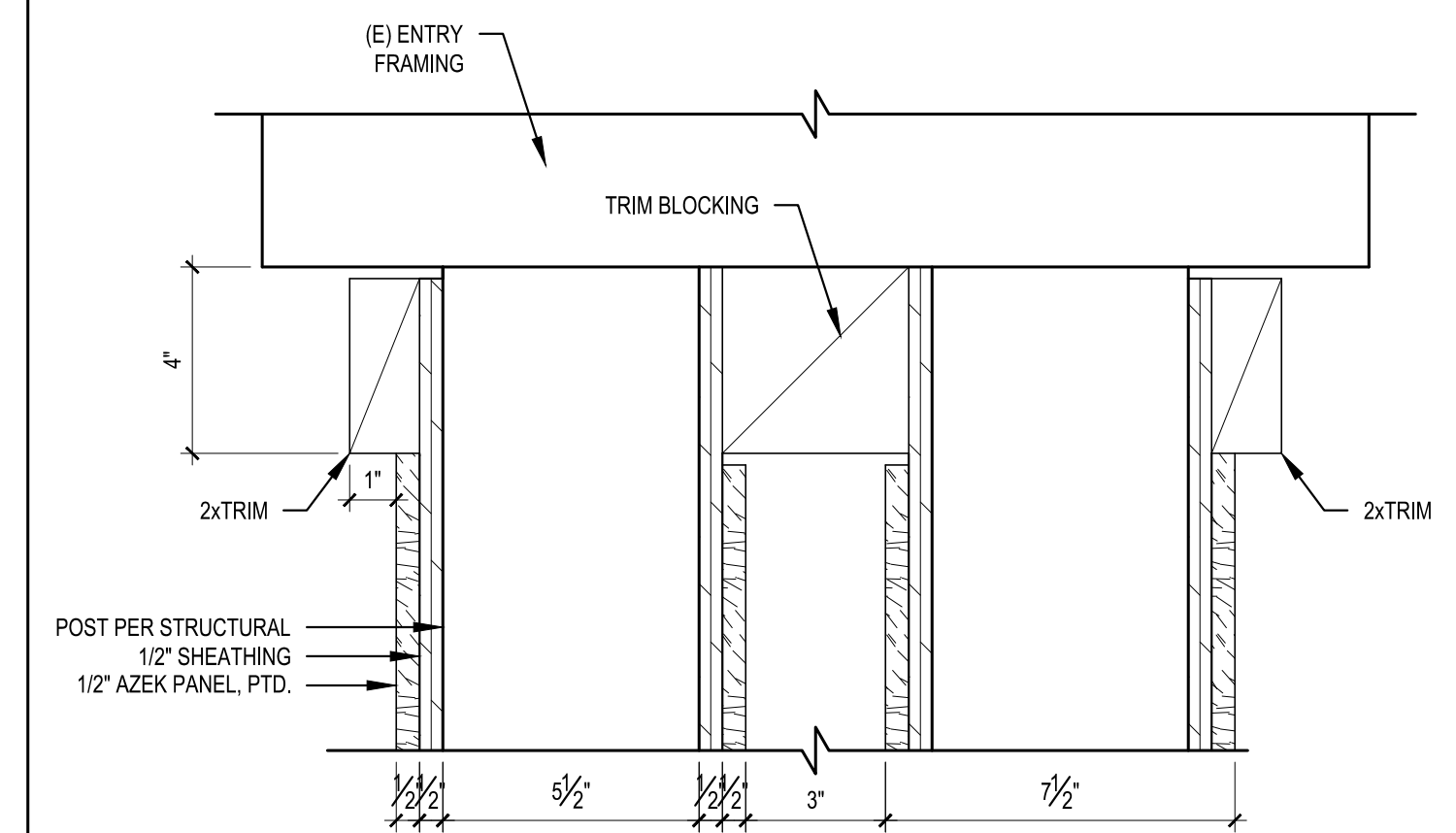
2 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



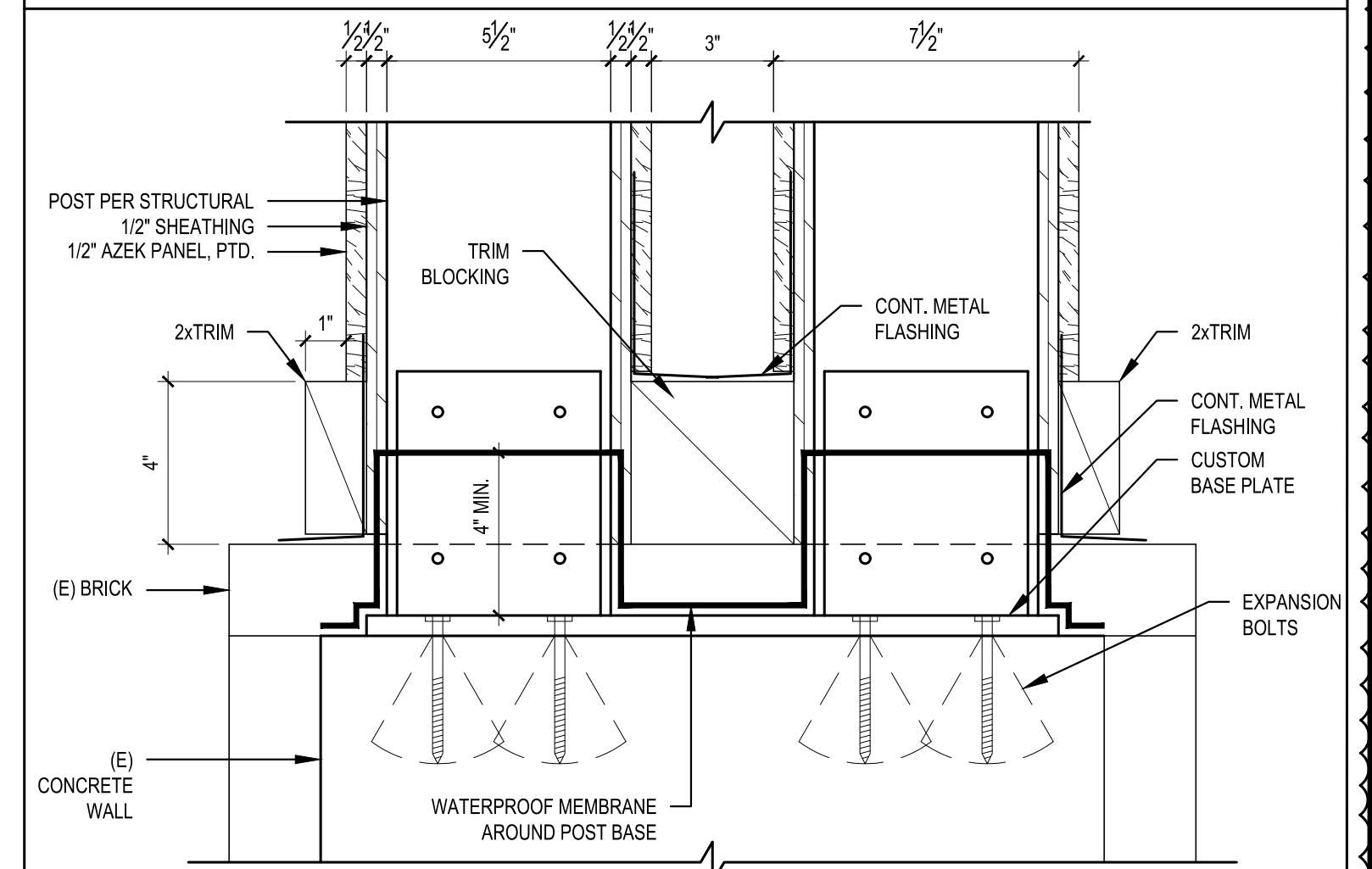
3 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



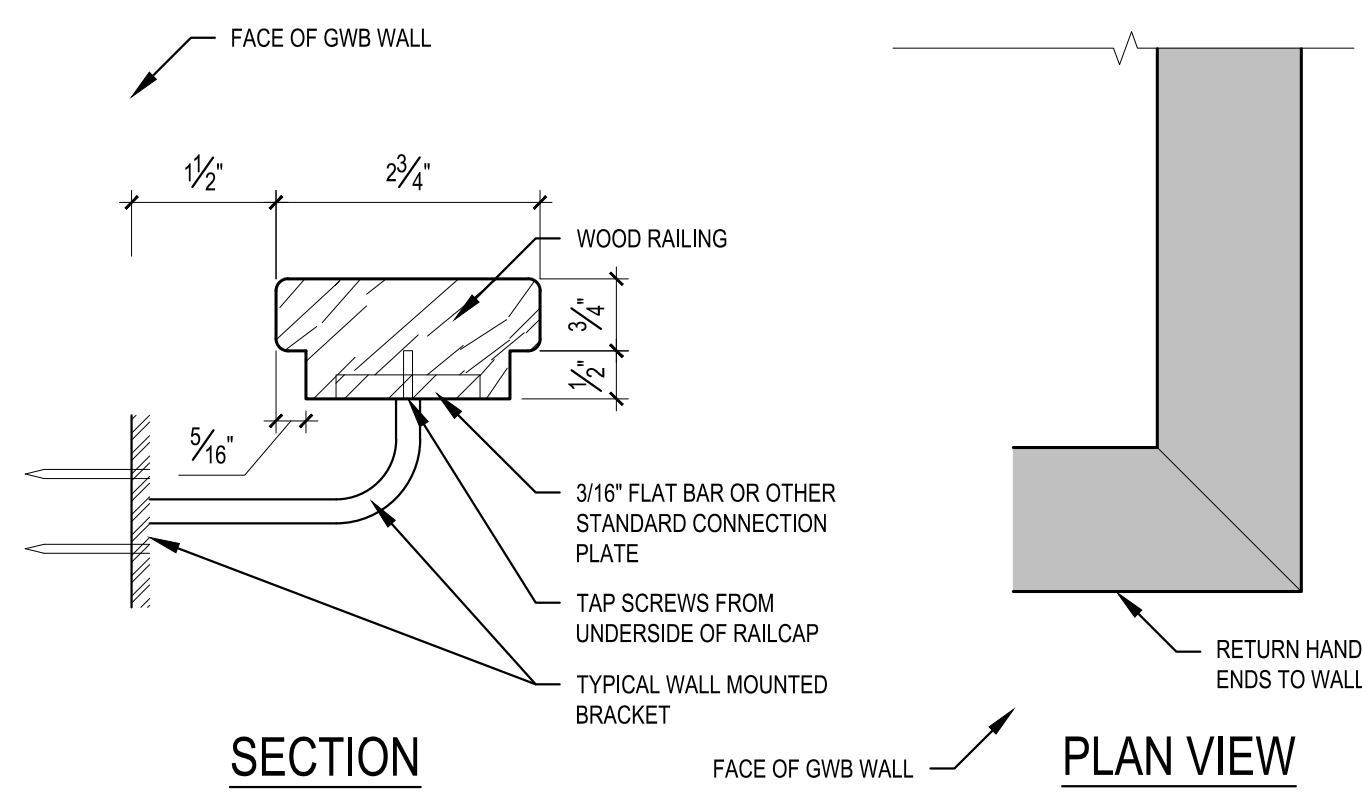
4 ENTRY COLUMNS PLAN DETAIL
SCALE: 3" = 1'-0"



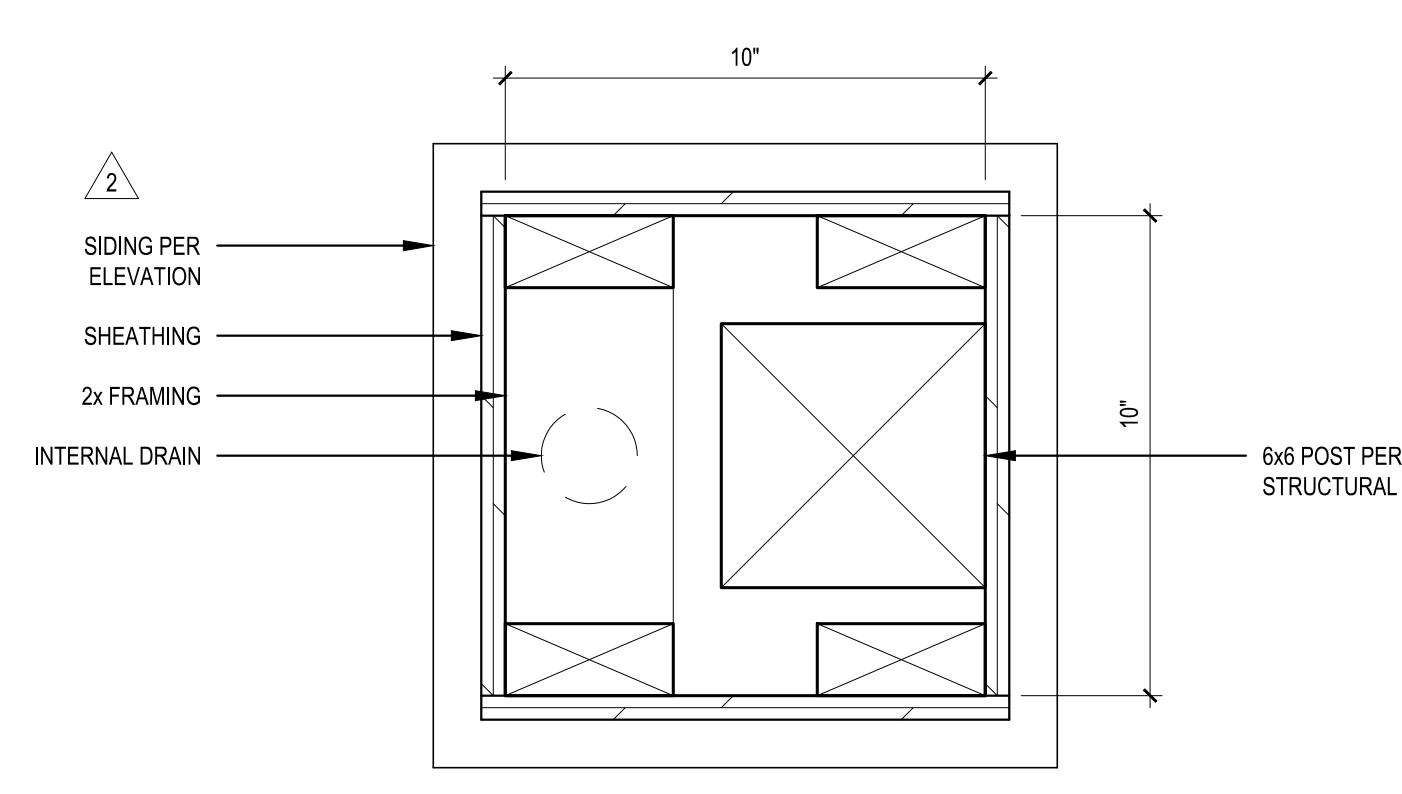
5 BUILT-OUT WOOD COLUMN CAP DETAIL
SCALE: 3" = 1'-0"



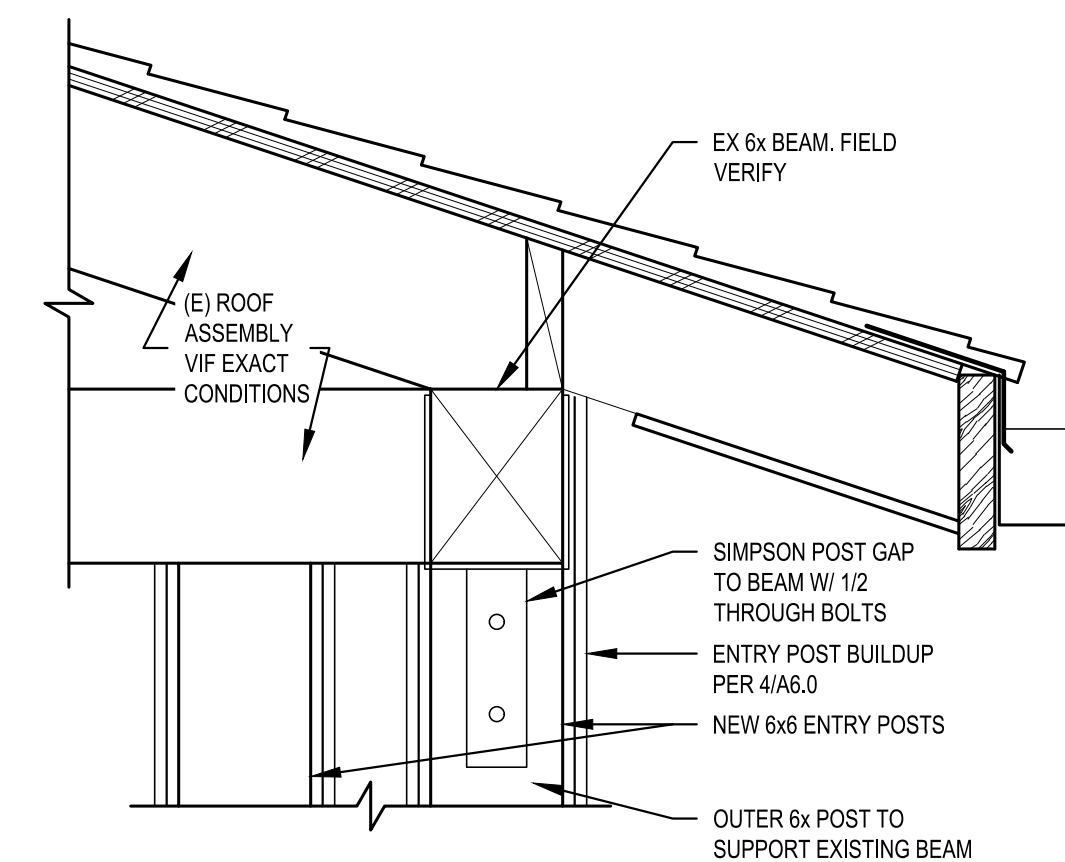
6 COLUMN BASE DETAIL AT BRICK WALL
SCALE: 3" = 1'-0"



7 HANDRAIL DETAIL
SCALE: 6" = 1'-0"

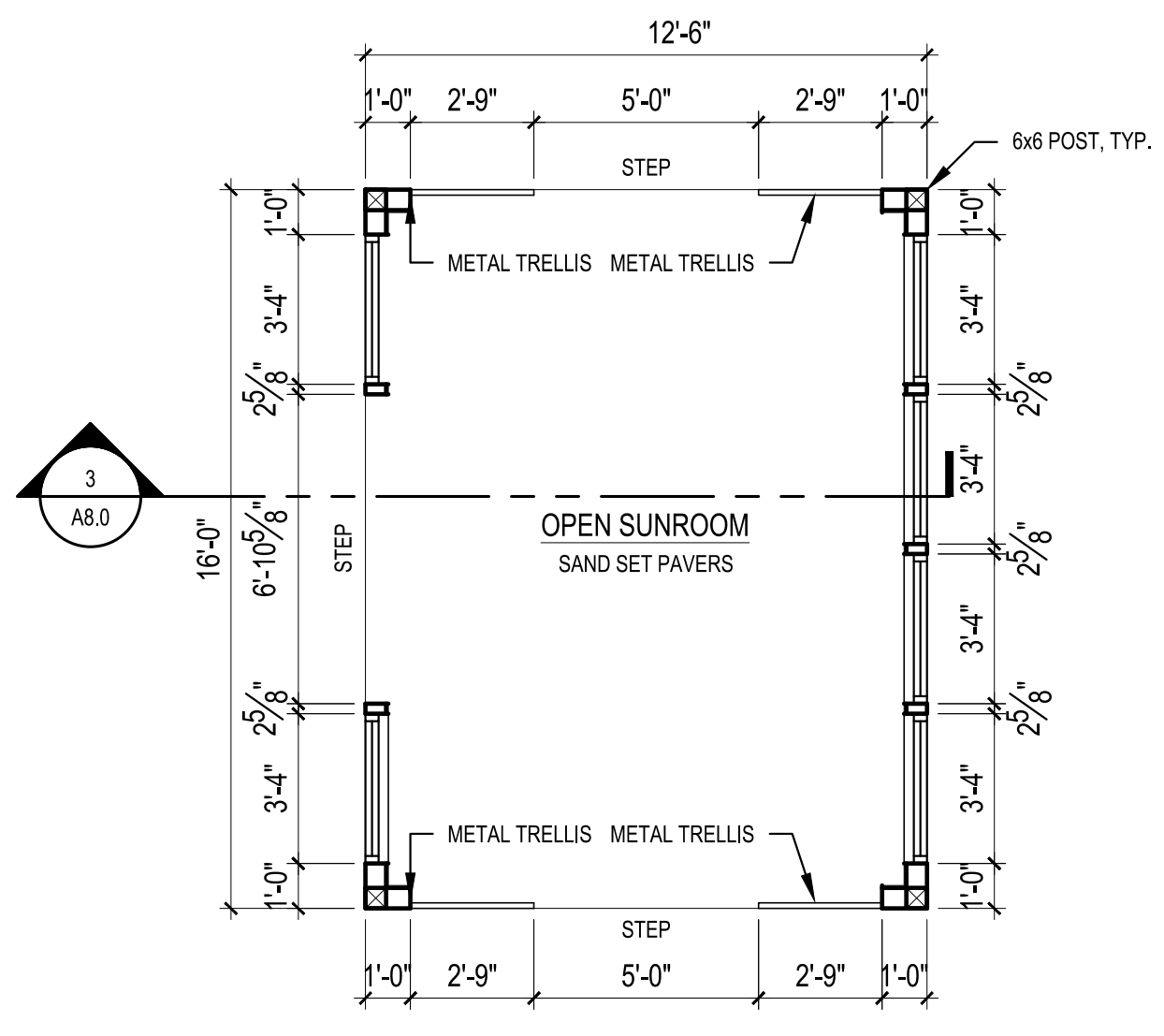


8 TYP. COLUMN PLAN DETAIL
SCALE: 3" = 1'-0"

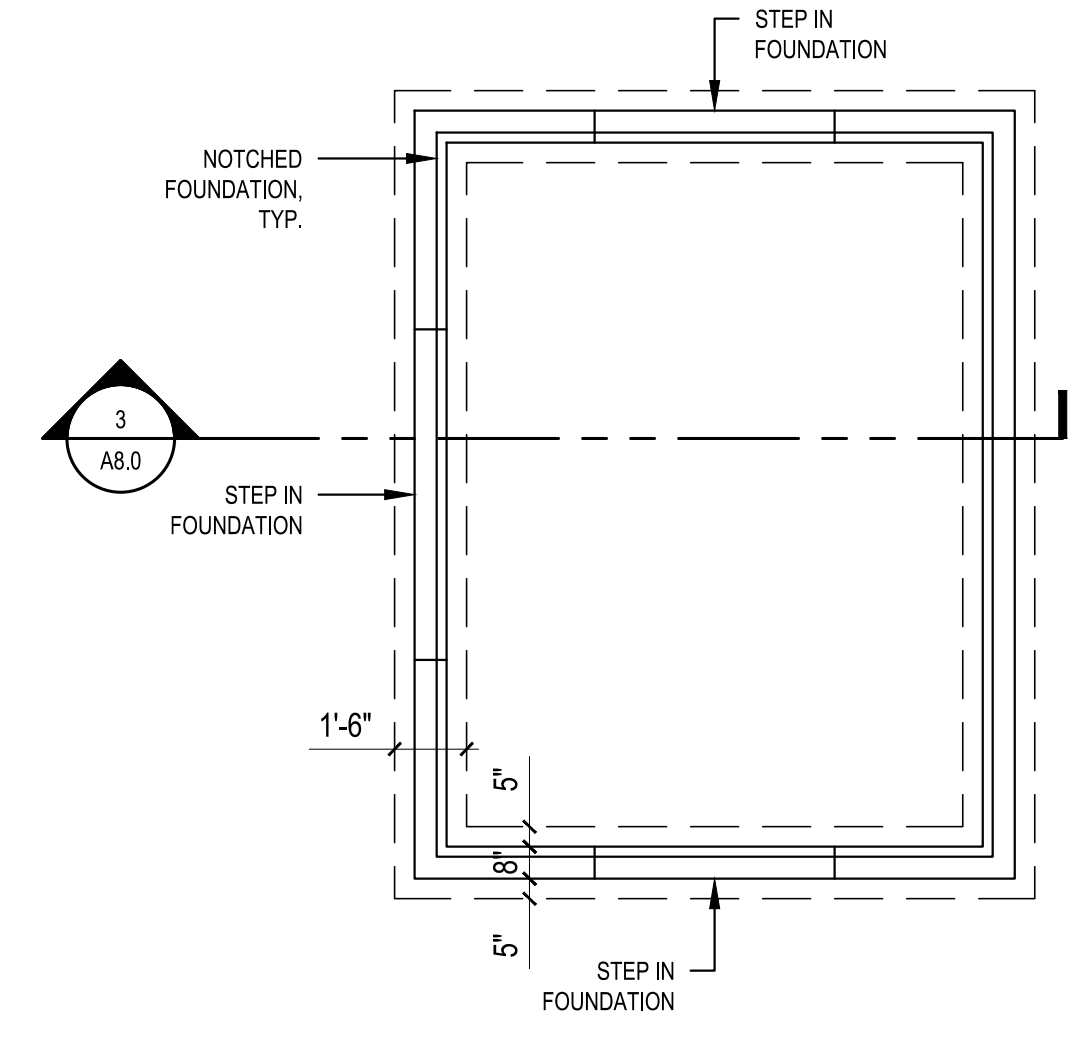


9 ENTRY ROOF TO NEW COLUMN
SCALE: 1 1/2" = 1'-0"

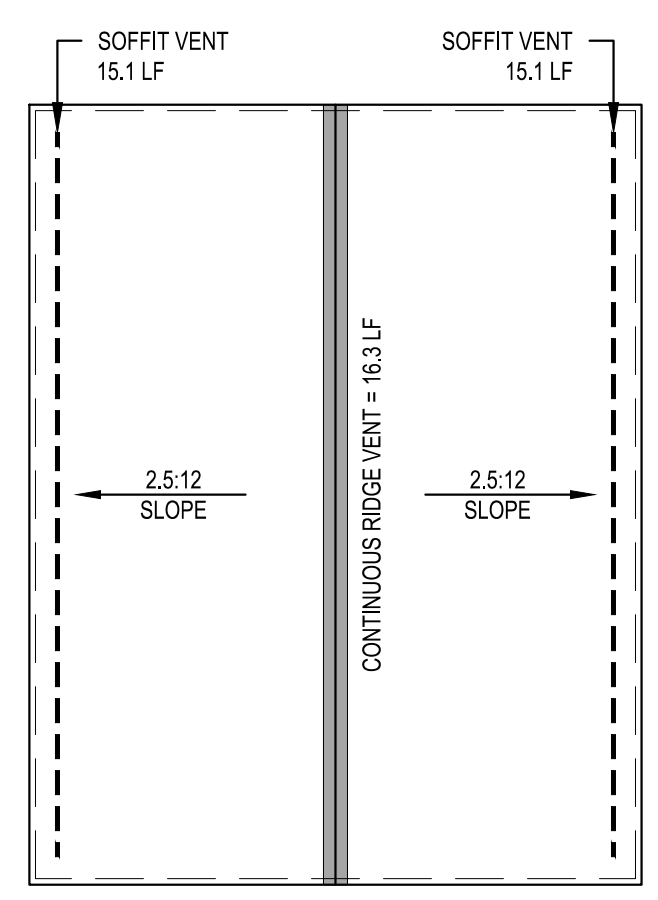
REVISIONS:	
2023-7-13 CORRECTION 1	
2023-8-31 PERMIT REVISION	
PLOT DATE:	10/11/2023
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	



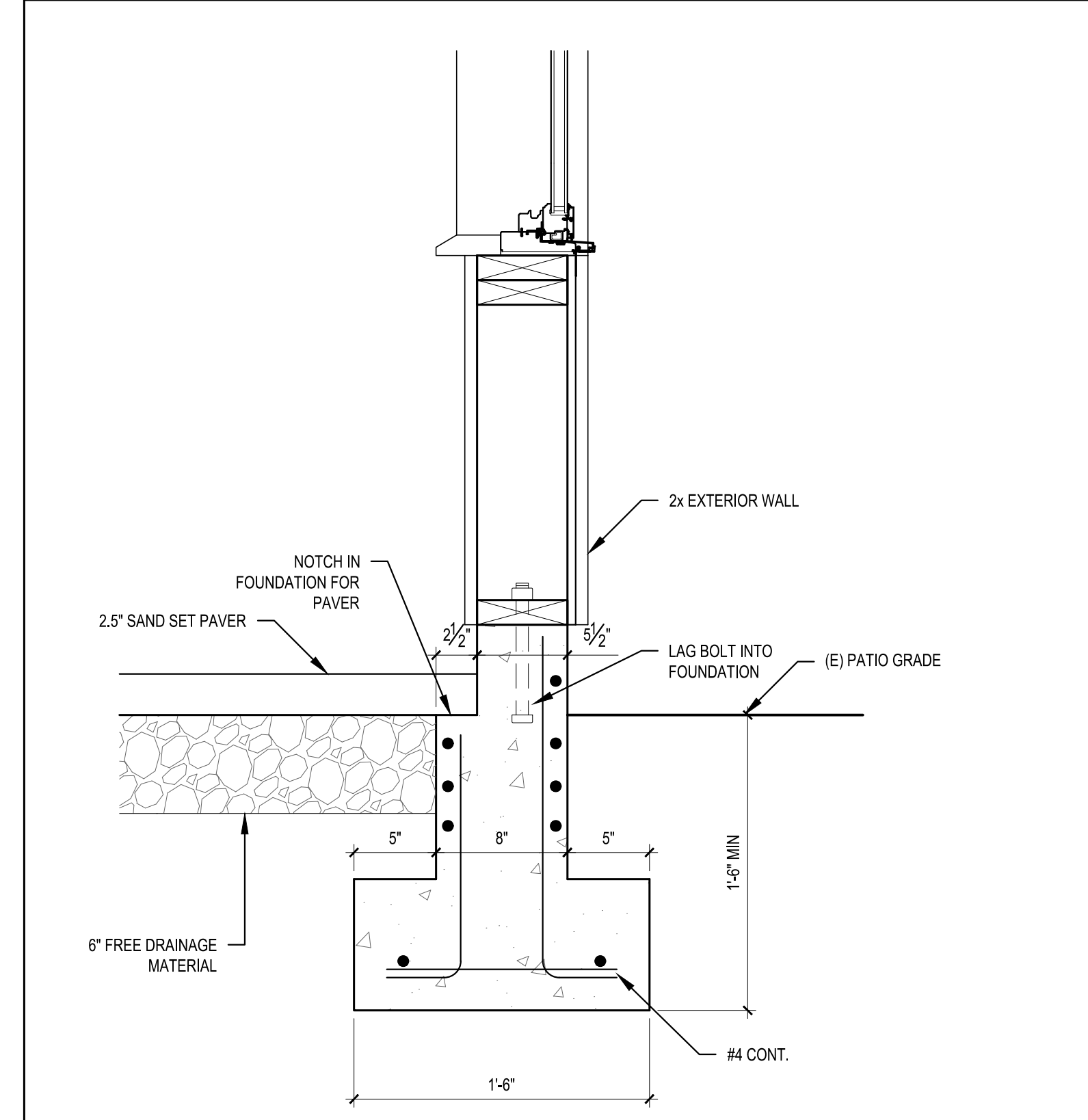
1 OPEN SUNROOM PLAN
 SCALE: 1/4" = 1'-0"



2 OPEN SUNROOM PLAN FOUNDATION
 SCALE: 1/4" = 1'-0"



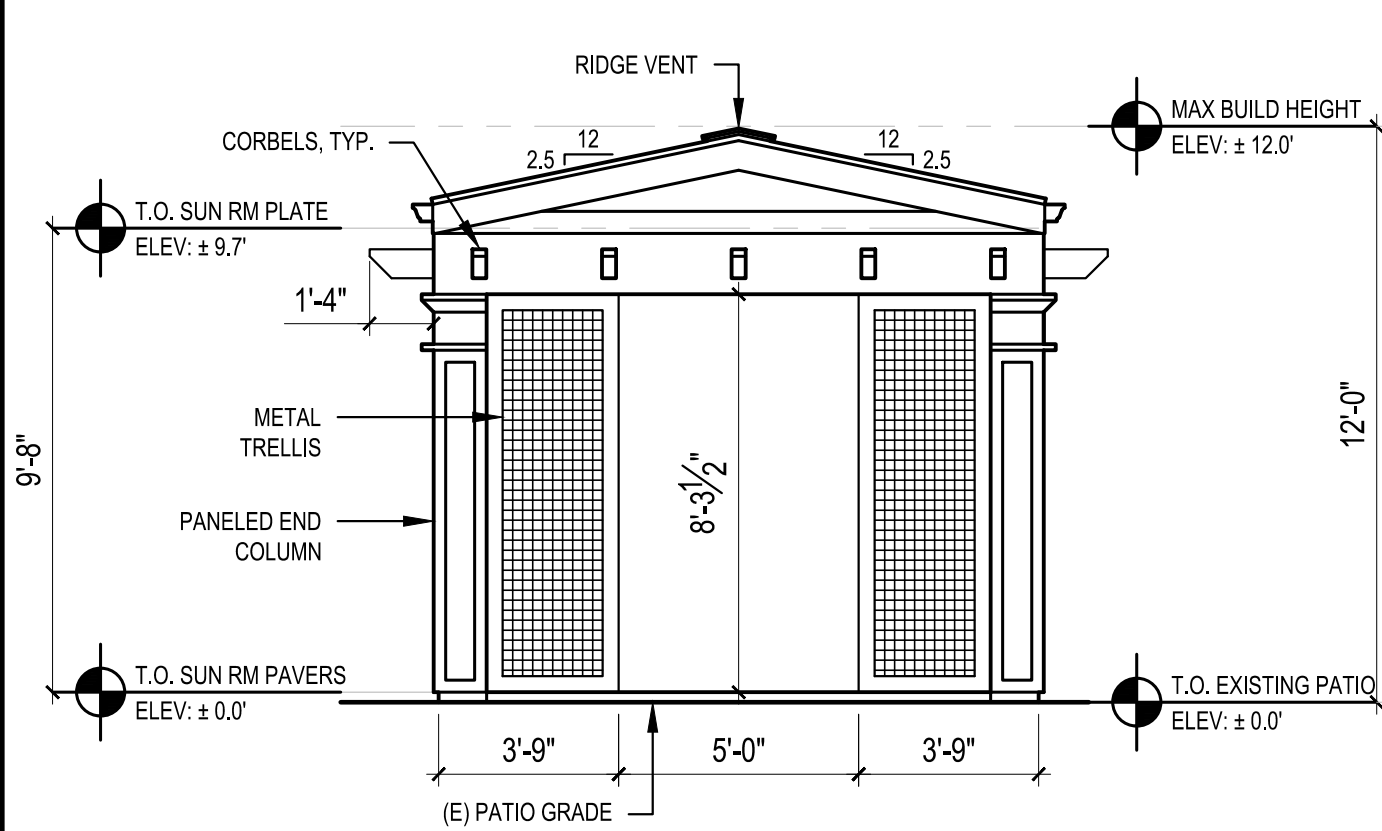
3 OPEN SUNROOM ROOF PLAN
 SCALE: 1/4" = 1'-0"



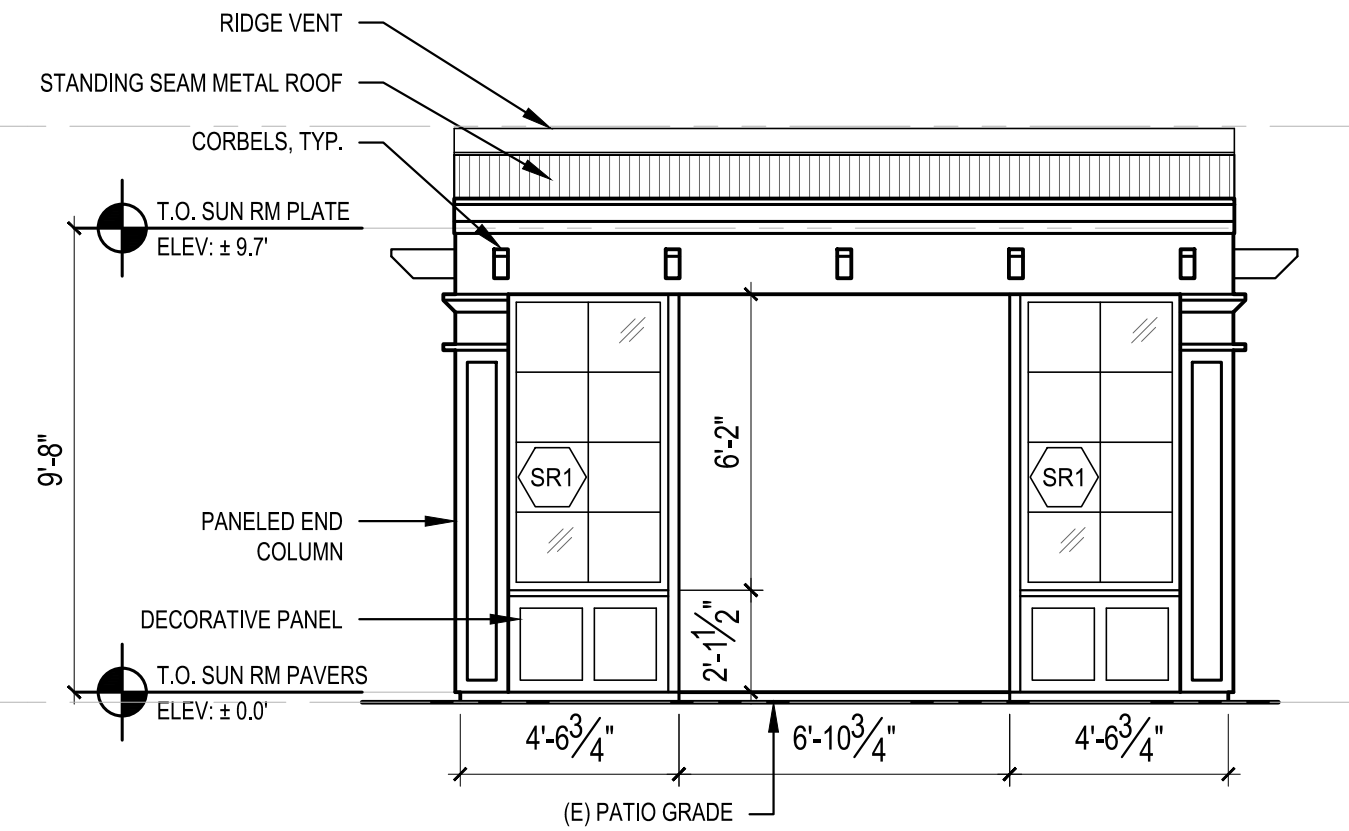
8 TYPICAL FOUNDATION
 SCALE: 1 1/2" = 1'-0"

ROOF VENT CALCULATIONS											
DESCRIPTION	SF AREA	REQ. VENTING		CALCULATIONS					ACTUAL		
		PER SF AREA	300	VENT TYPE	VENT L.F.	TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF FACTOR	TOTAL		
OPEN SUN ROOM	207	1.38	300	RIDGE	10 SQ. IN./FT.	30.2	543.6	3.78	3.02	4.11	
				EAVE	1.5x1.0" VENT						
				CONTINUOUS	12 SQ. IN./FT.	16.3	195.6	1.36	1.09		
						0	0.00	0.00			

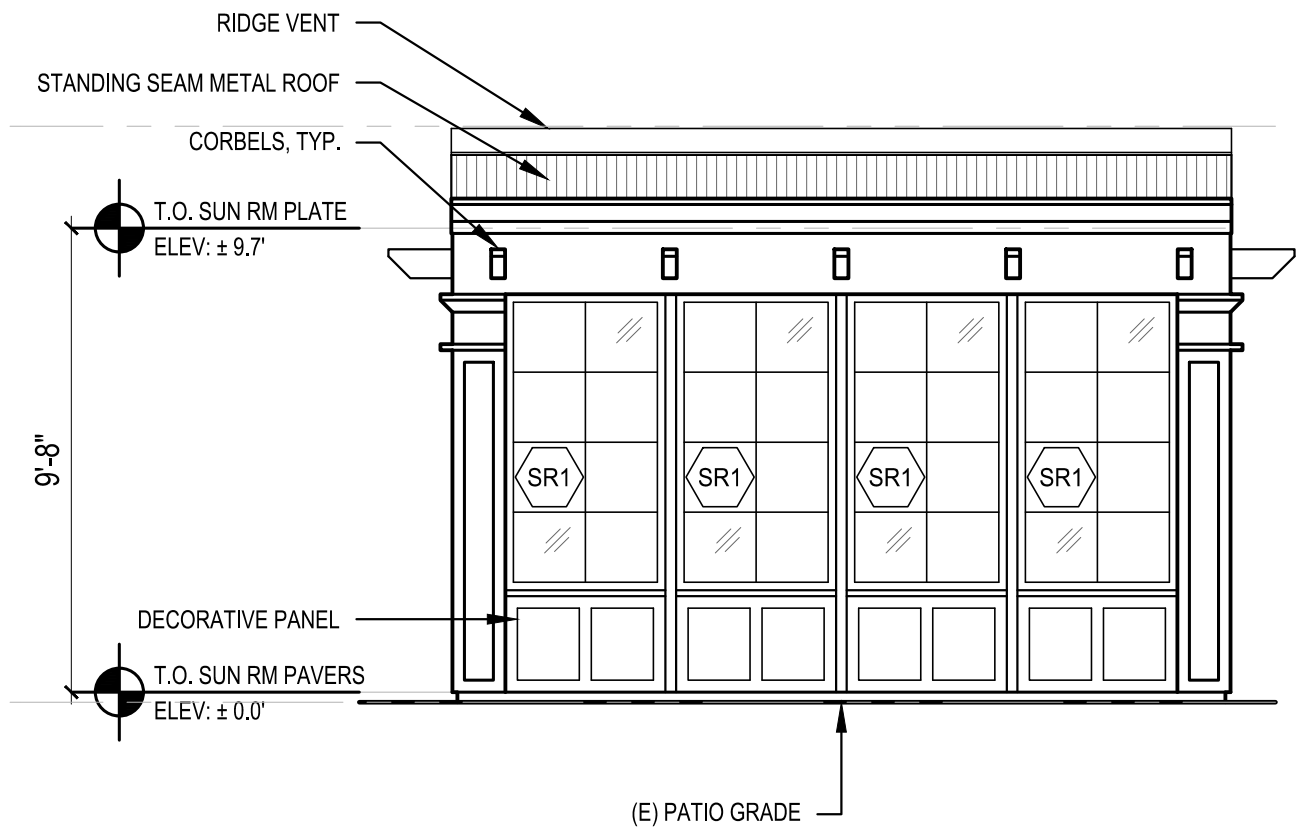
WINDOW SCHEDULE									
TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
SR1	PICTURE	3' - 4"	6' - 2"	N	6	123.3	0.28	LOW E / CLEAR	GRID



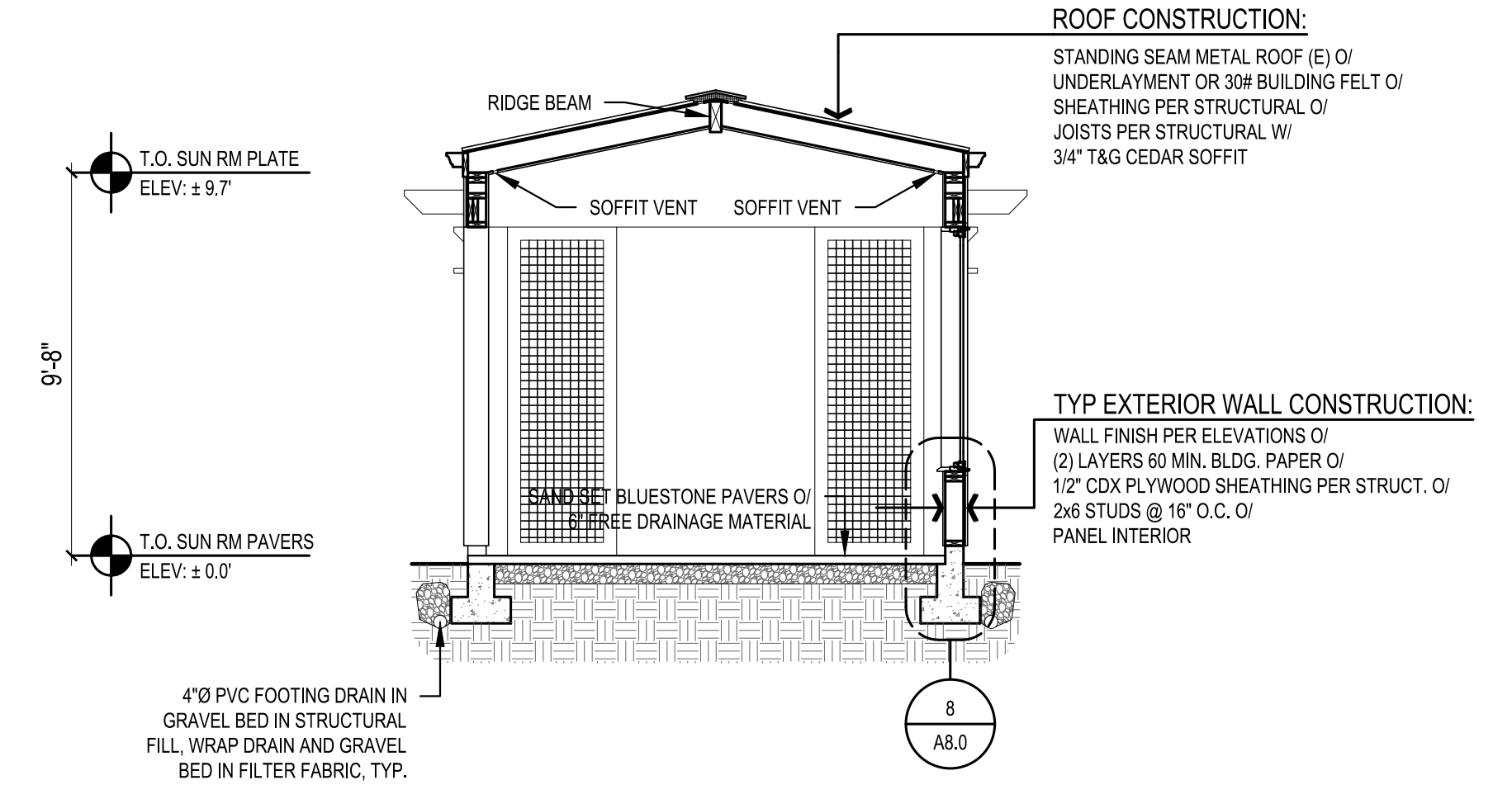
4 SIDES OPEN SUNROOM ELEVATION
 SCALE: 1/4" = 1'-0"



5 FRONT OPEN SUNROOM ELEVATION
 SCALE: 1/4" = 1'-0"

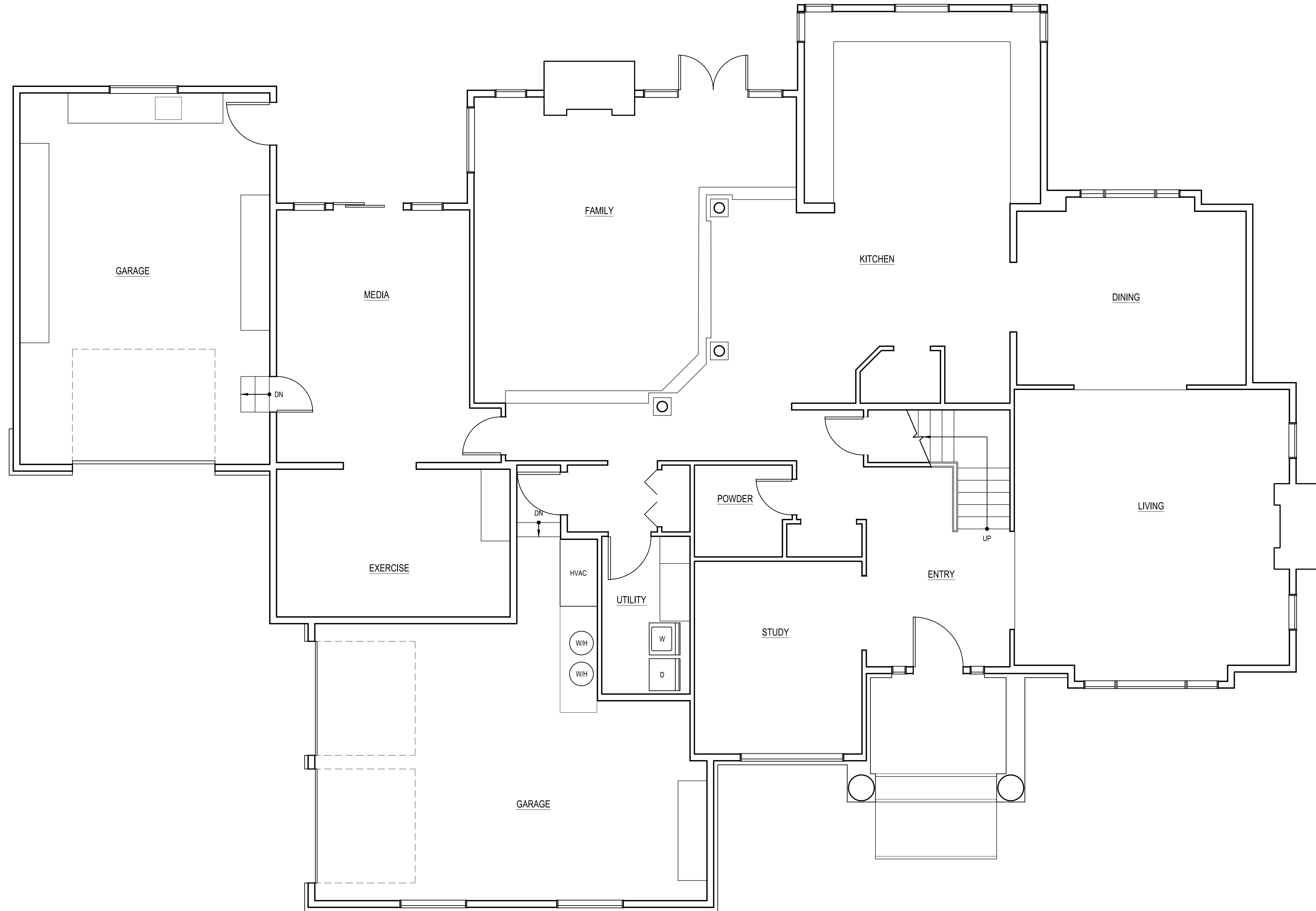


6 REAR OPEN SUNROOM ELEVATION
 SCALE: 1/4" = 1'-0"



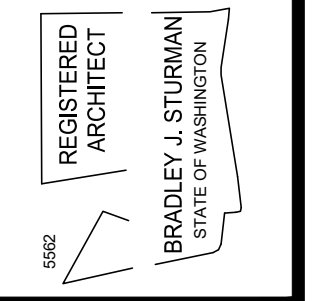
7 OPEN SUNROOM SECTION
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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**AS-BUILT
MAIN FLOOR PLAN**
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
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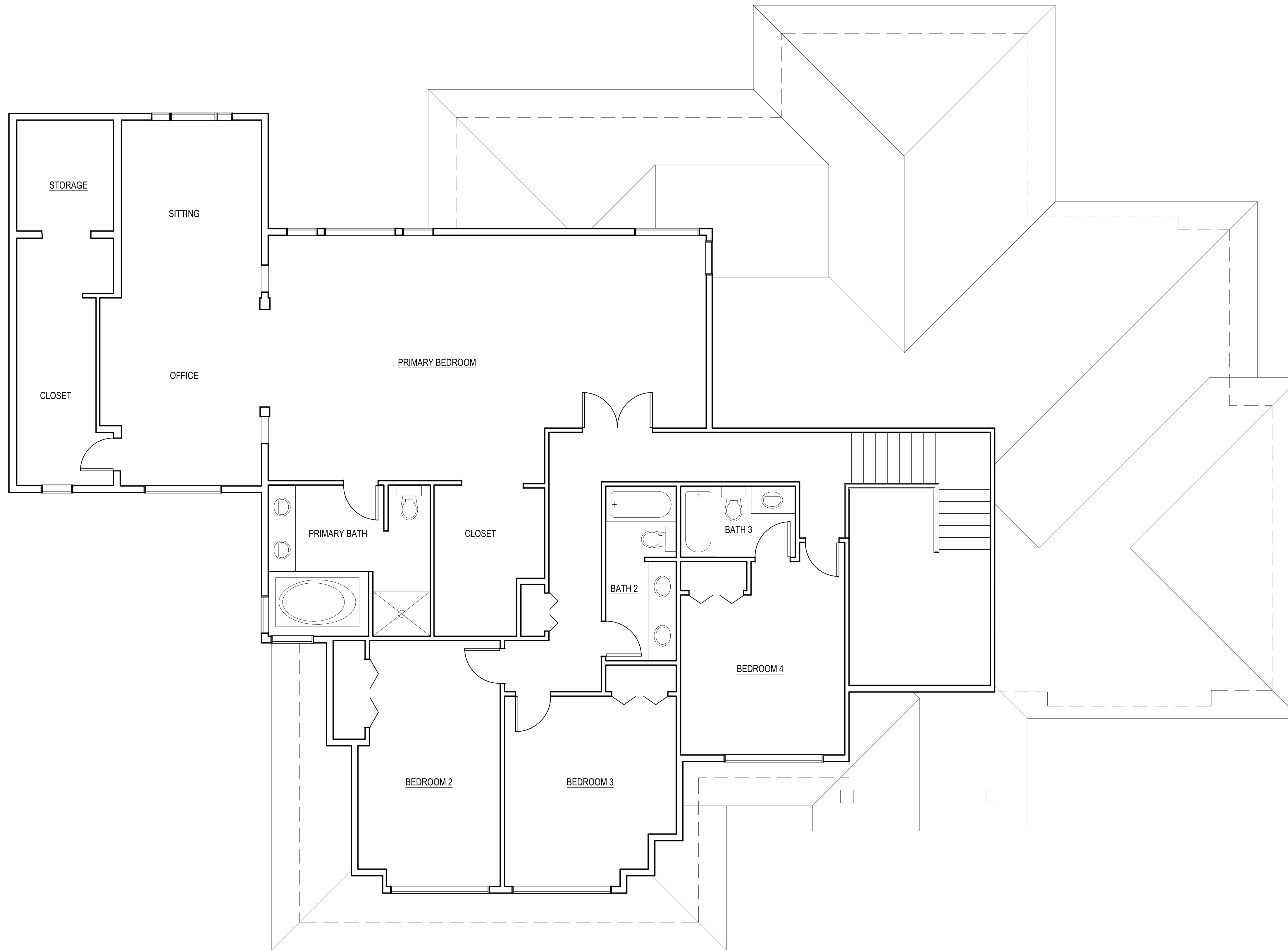
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**AS-BUILT
MAIN FLOOR PLAN**

REVISIONS:	DATE	DESCRIPTION
▲	2023-7-13	CORRECTION 1
▲	2023-8-31	PERMIT REVISION

PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS

SHEET
AB1



**AS-BUILT
UPPER FLOOR PLAN**
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
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**AS-BUILT
UPPER FLOOR PLAN**

REVISIONS:

2023-7-13 CORRECTION 1	
2023-8-31 PERMIT REVISION	

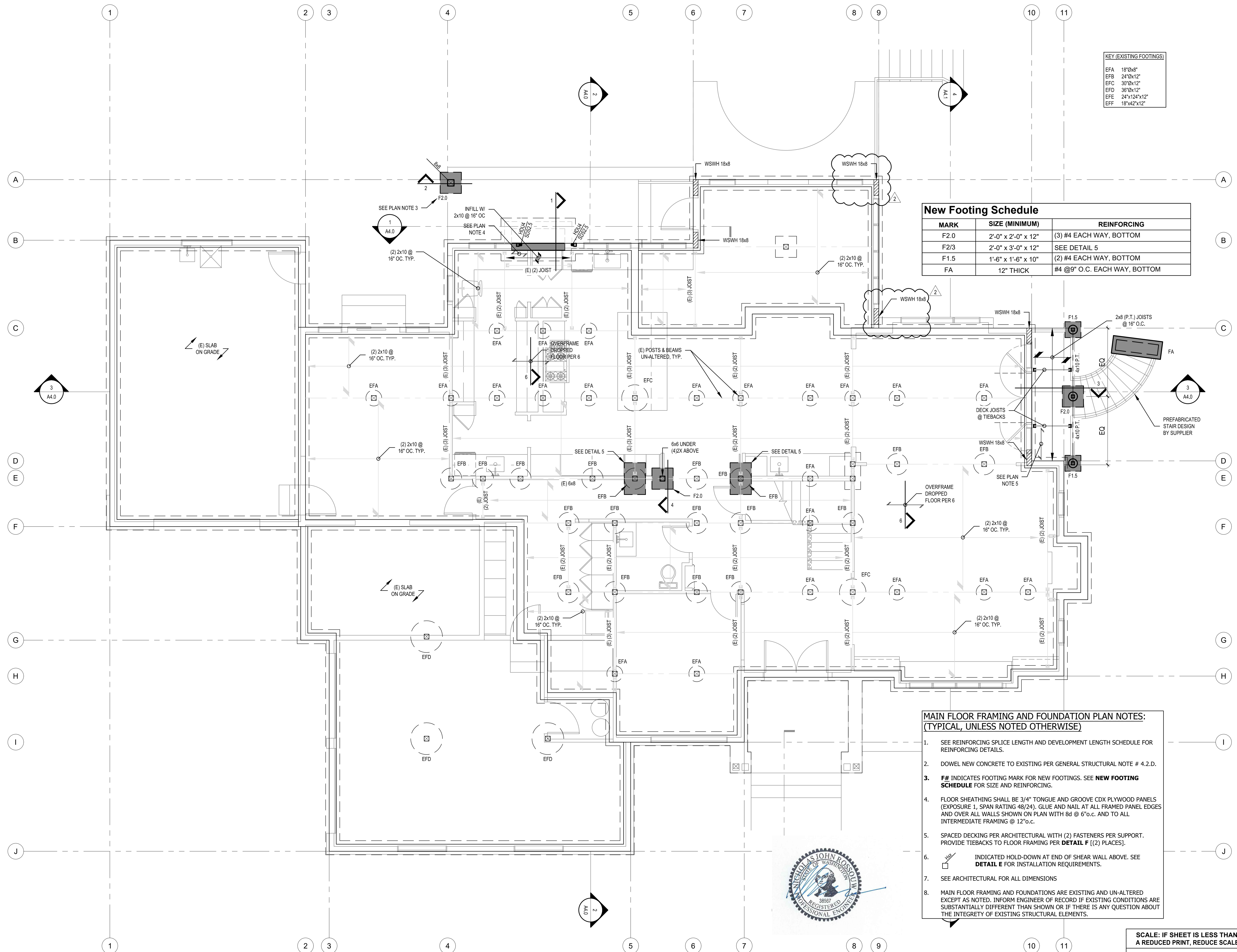
PLOT DATE: 10/11/2023

DRAWN BY: JM

CHECKED BY: BJS

SHEET

AB2



KEY (EXISTING FOOTINGS)

EFA	18"0x8"
EFB	24"0x12"
EFC	30"0x12"
EFD	36"0x12"
EFE	24"x12"x12"
EFF	18"x42"x12"

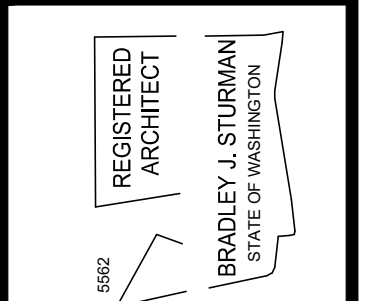
New Footing Schedule

MARK	SIZE (MINIMUM)	REINFORCING
F2.0	2'-0" x 2'-0" x 12"	(3) #4 EACH WAY, BOTTOM
F2/3	2'-0" x 3'-0" x 12"	SEE DETAIL 5
F1.5	1'-6" x 1'-6" x 10"	(2) #4 EACH WAY, BOTTOM
FA	12" THICK	#4 @9" O.C. EACH WAY, BOTTOM

- MAIN FLOOR FRAMING AND FOUNDATION PLAN NOTES:**
(TYPICAL, UNLESS NOTED OTHERWISE)
- SEE REINFORCING SPLICE LENGTH AND DEVELOPMENT LENGTH SCHEDULE FOR REINFORCING DETAILS.
 - DOWEL NEW CONCRETE TO EXISTING PER GENERAL STRUCTURAL NOTE # 4.2.D.
 - F#** INDICATES FOOTING MARK FOR NEW FOOTINGS. SEE **NEW FOOTING SCHEDULE** FOR SIZE AND REINFORCING.
 - FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE CDX PLYWOOD PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL AT ALL FRAMED PANEL EDGES AND OVER ALL WALLS SHOWN ON PLAN WITH 8d @ 6"o.c. AND TO ALL INTERMEDIATE FRAMING @ 12"o.c.
 - SPACED DECKING PER ARCHITECTURAL WITH (2) FASTENERS PER SUPPORT. PROVIDE TIEBACKS TO FLOOR FRAMING PER **DETAIL F** ((2) PLACES).
 - INDICATED HOLD-DOWN AT END OF SHEAR WALL ABOVE. SEE **DETAIL E** FOR INSTALLATION REQUIREMENTS.
 - SEE ARCHITECTURAL FOR ALL DIMENSIONS
 - MAIN FLOOR FRAMING AND FOUNDATIONS ARE EXISTING AND UN-ALTERED EXCEPT AS NOTED. INFORM ENGINEER OF RECORD IF EXISTING CONDITIONS ARE SUBSTANTIALLY DIFFERENT THAN SHOWN OR IF THERE IS ANY QUESTION ABOUT THE INTEGRITY OF EXISTING STRUCTURAL ELEMENTS.



SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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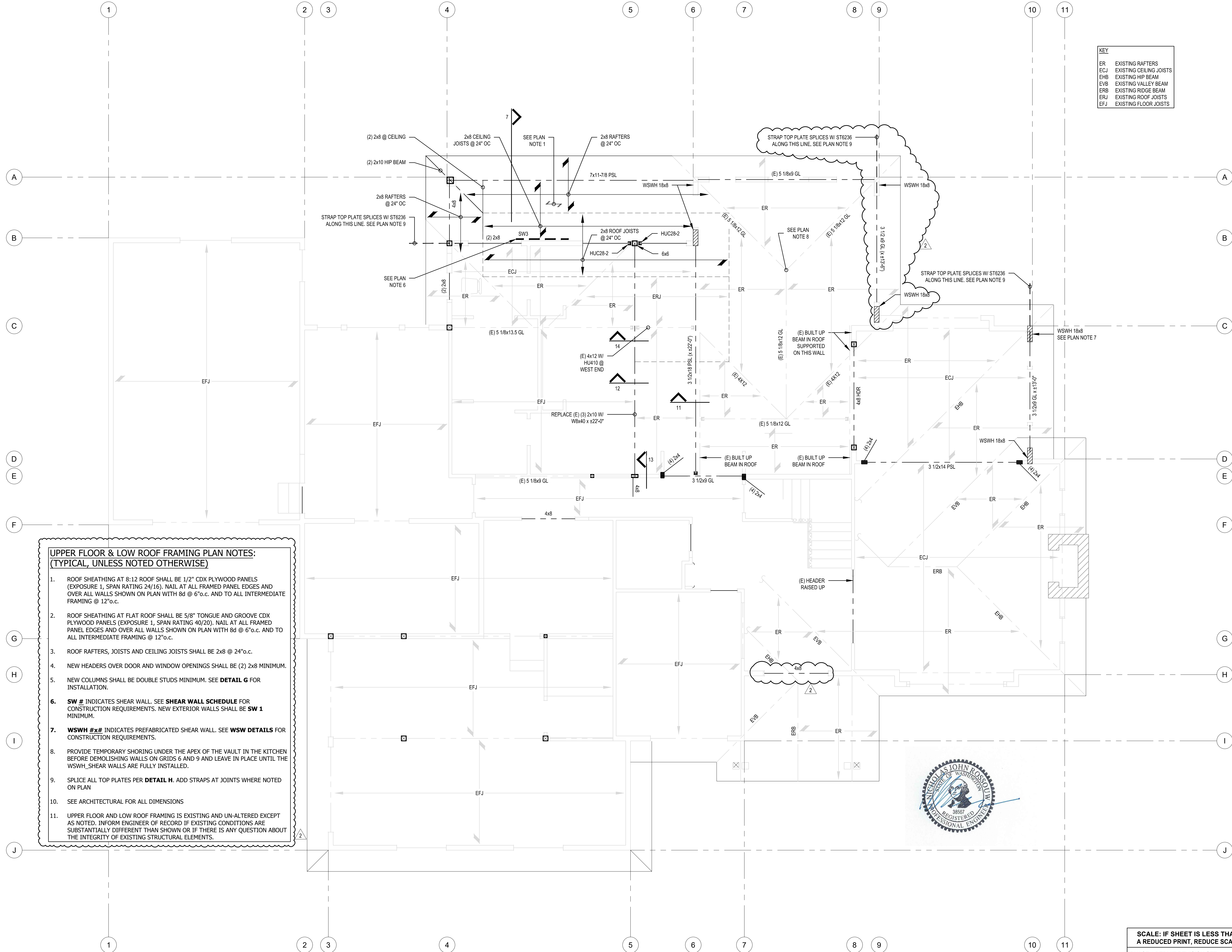
FOUNDATION PLAN

REVISIONS:

2023-7-13	CORRECTION 1
2023-5-31	PERMIT REVISION

PLOT DATE: 10/11/2023
DRAWN BY: JM
CHECKED BY: BJS
SHEET

S2.0



KEY	
ER	EXISTING RAFTERS
ECJ	EXISTING CEILING JOISTS
EHB	EXISTING HIP BEAM
EVB	EXISTING VALLEY BEAM
ERB	EXISTING RIDGE BEAM
ERJ	EXISTING ROOF JOISTS
EFJ	EXISTING FLOOR JOISTS

- UPPER FLOOR & LOW ROOF FRAMING PLAN NOTES:**
(TYPICAL, UNLESS NOTED OTHERWISE)
- ROOF SHEATHING AT 8:12 ROOF SHALL BE 1/2" CDX PLYWOOD PANELS (EXPOSURE 1, SPAN RATING 24/16). NAIL AT ALL FRAMED PANEL EDGES AND OVER ALL WALLS SHOWN ON PLAN WITH 8d @ 6" o.c. AND TO ALL INTERMEDIATE FRAMING @ 12" o.c.
 - ROOF SHEATHING AT FLAT ROOF SHALL BE 5/8" TONGUE AND GROOVE CDX PLYWOOD PANELS (EXPOSURE 1, SPAN RATING 40/20). NAIL AT ALL FRAMED PANEL EDGES AND OVER ALL WALLS SHOWN ON PLAN WITH 8d @ 6" o.c. AND TO ALL INTERMEDIATE FRAMING @ 12" o.c.
 - ROOF RAFTERS, JOISTS AND CEILING JOISTS SHALL BE 2x8 @ 24" o.c.
 - NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM.
 - NEW COLUMNS SHALL BE DOUBLE STUDS MINIMUM. SEE **DETAIL G** FOR INSTALLATION.
 - SW #** INDICATES SHEAR WALL. SEE **SHEAR WALL SCHEDULE** FOR CONSTRUCTION REQUIREMENTS. NEW EXTERIOR WALLS SHALL BE **SW 1** MINIMUM.
 - WSWH #x#** INDICATES PREFABRICATED SHEAR WALL. SEE **WSW DETAILS** FOR CONSTRUCTION REQUIREMENTS.
 - PROVIDE TEMPORARY SHORING UNDER THE APEX OF THE VAULT IN THE KITCHEN BEFORE DEMOLISHING WALLS ON GRIDS 6 AND 9 AND LEAVE IN PLACE UNTIL THE WSWH SHEAR WALLS ARE FULLY INSTALLED.
 - SPLICE ALL TOP PLATES PER **DETAIL H**. ADD STRAPS AT JOINTS WHERE NOTED ON PLAN
 - SEE ARCHITECTURAL FOR ALL DIMENSIONS
 - UPPER FLOOR AND LOW ROOF FRAMING IS EXISTING AND UN-ALTERED EXCEPT AS NOTED. INFORM ENGINEER OF RECORD IF EXISTING CONDITIONS ARE SUBSTANTIALLY DIFFERENT THAN SHOWN OR IF THERE IS ANY QUESTION ABOUT THE INTEGRITY OF EXISTING STRUCTURAL ELEMENTS.



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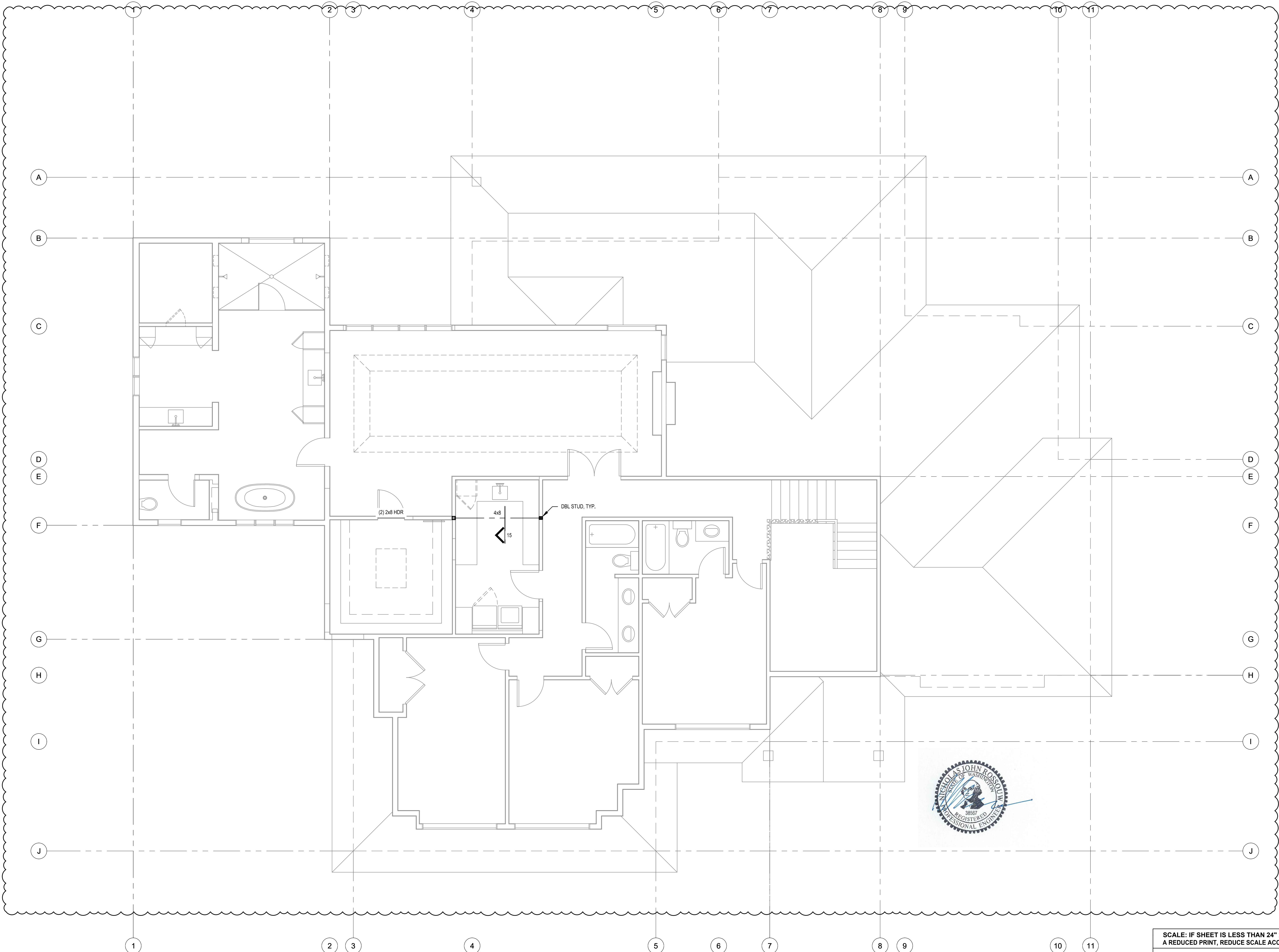
UPPER FLOOR
LOW ROOF FRAMING

REVISIONS:	2023-1-13 CORRECTION 1
	2023-5-31 PERMIT REVISION

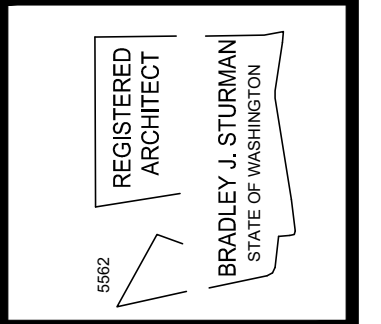
PLOT DATE: 10/11/2023
 DRAWN BY: JM
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SHEET
S2.1

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SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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MAIN ROOF FRAMING

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2023-7-13 CORRECTION 1		
2023-5-31 PERMIT REVISION		

PLOT DATE: 10/11/2023
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 CHECKED BY: BJS

SHEET
S2.2

Reinforcing Splice and Development Length Schedule

For $f_c = 2,900$ psi, Grade 60 Reinforcing

Minimum Straight Development Length (l_d)

Bar Size	Top Bars	Other Bars
#3	24"	18"
#4	32"	24"
#5	39"	30"

Minimum Lap Splice Lengths (l_s)

Bar Size	Top Bars	Other Bars
#3	32"	24"
#4	42"	32"
#5	51"	39"

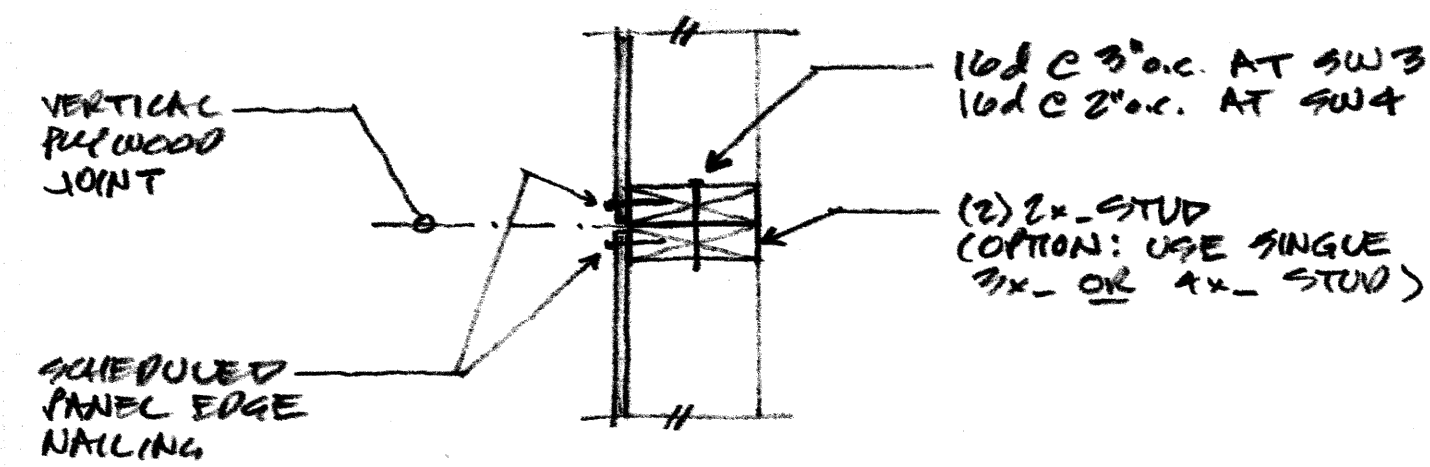
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%.

Minimum Embedment Lengths (l_{eh}) For Standard End Hooks

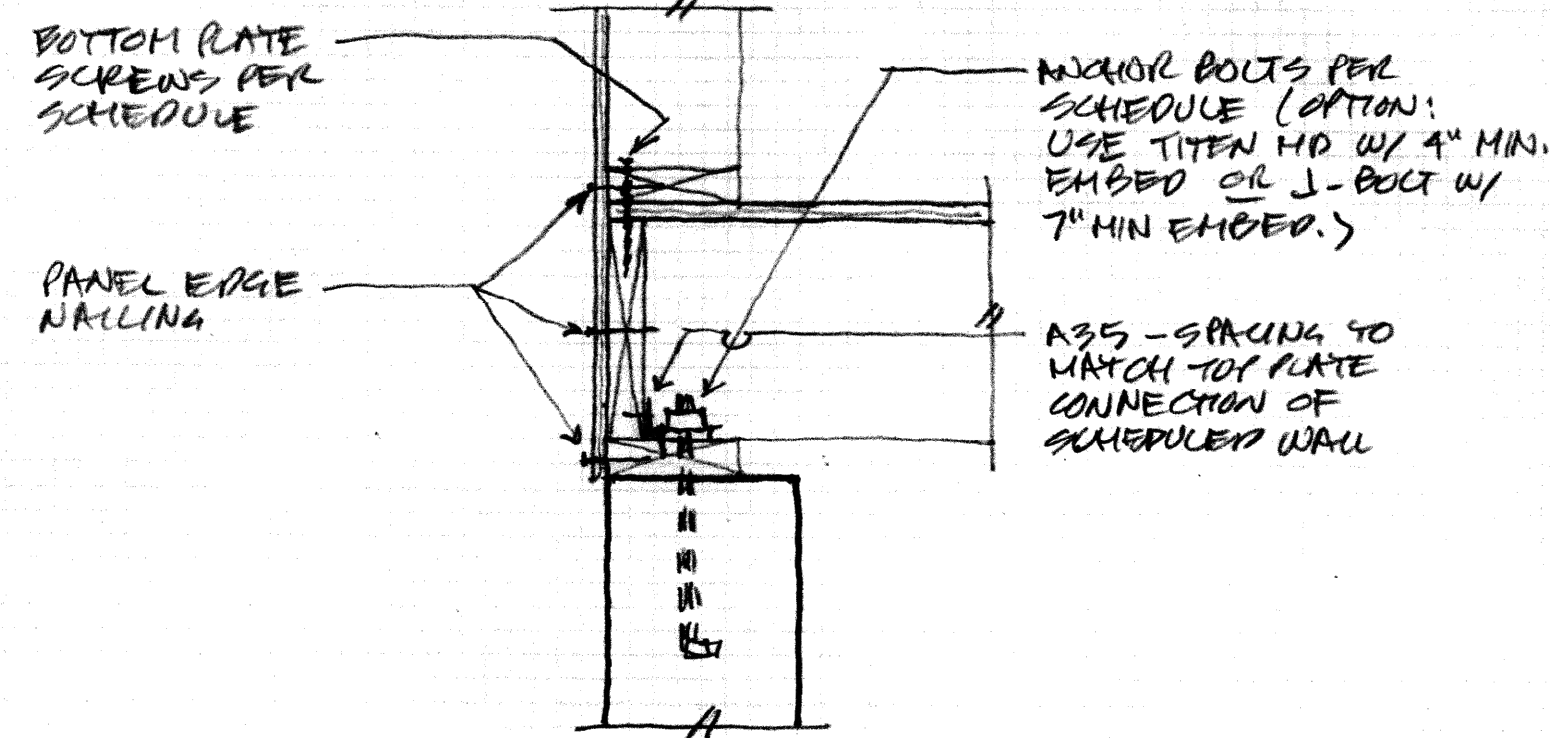
Bar Size	Length
#3	9"
#4	12"
#5	15"

- SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2d$.
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN $2'$.

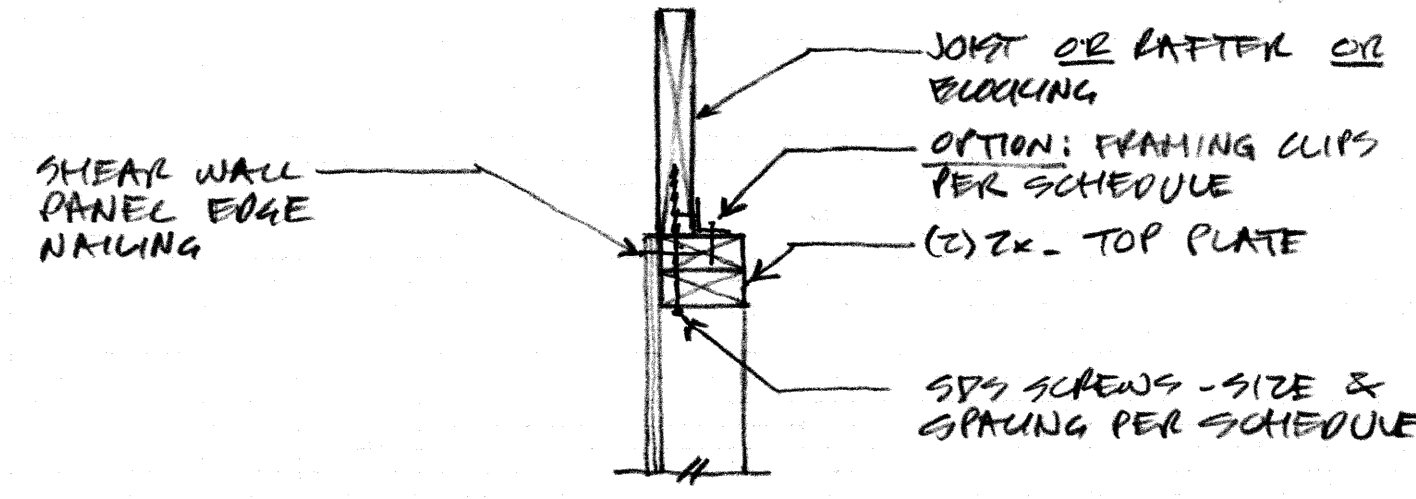


VERTICAL JOINTS AT SW3 & SW4 WALLS

(A)
1 1/2" = 1'-0"

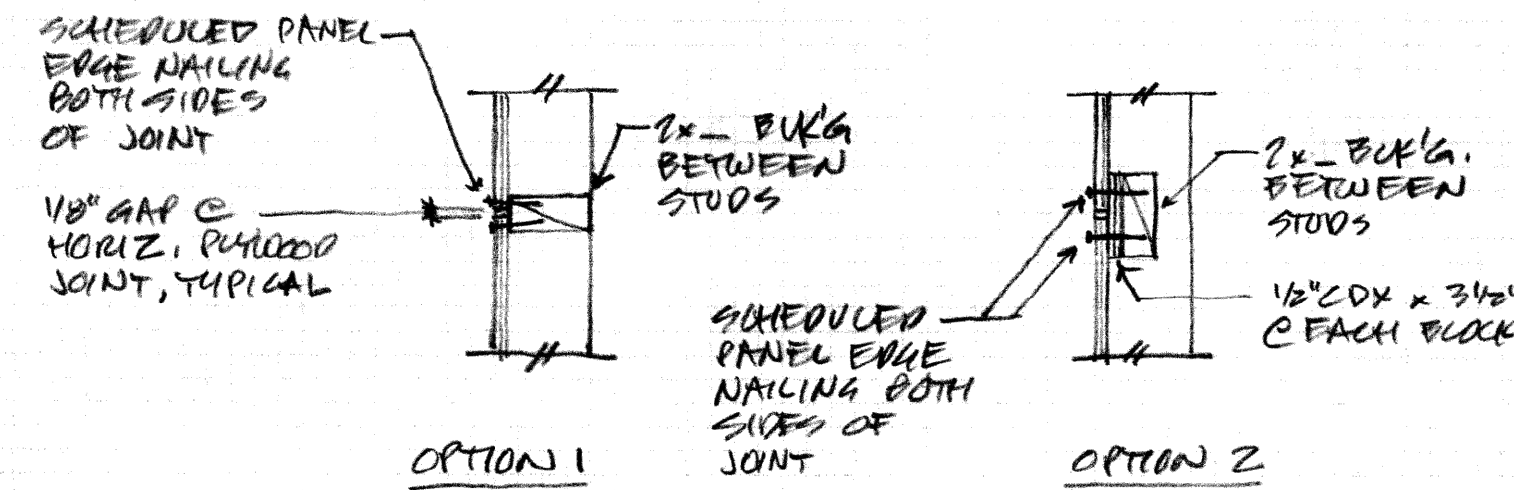


(B)
1 1/2" = 1'-0"



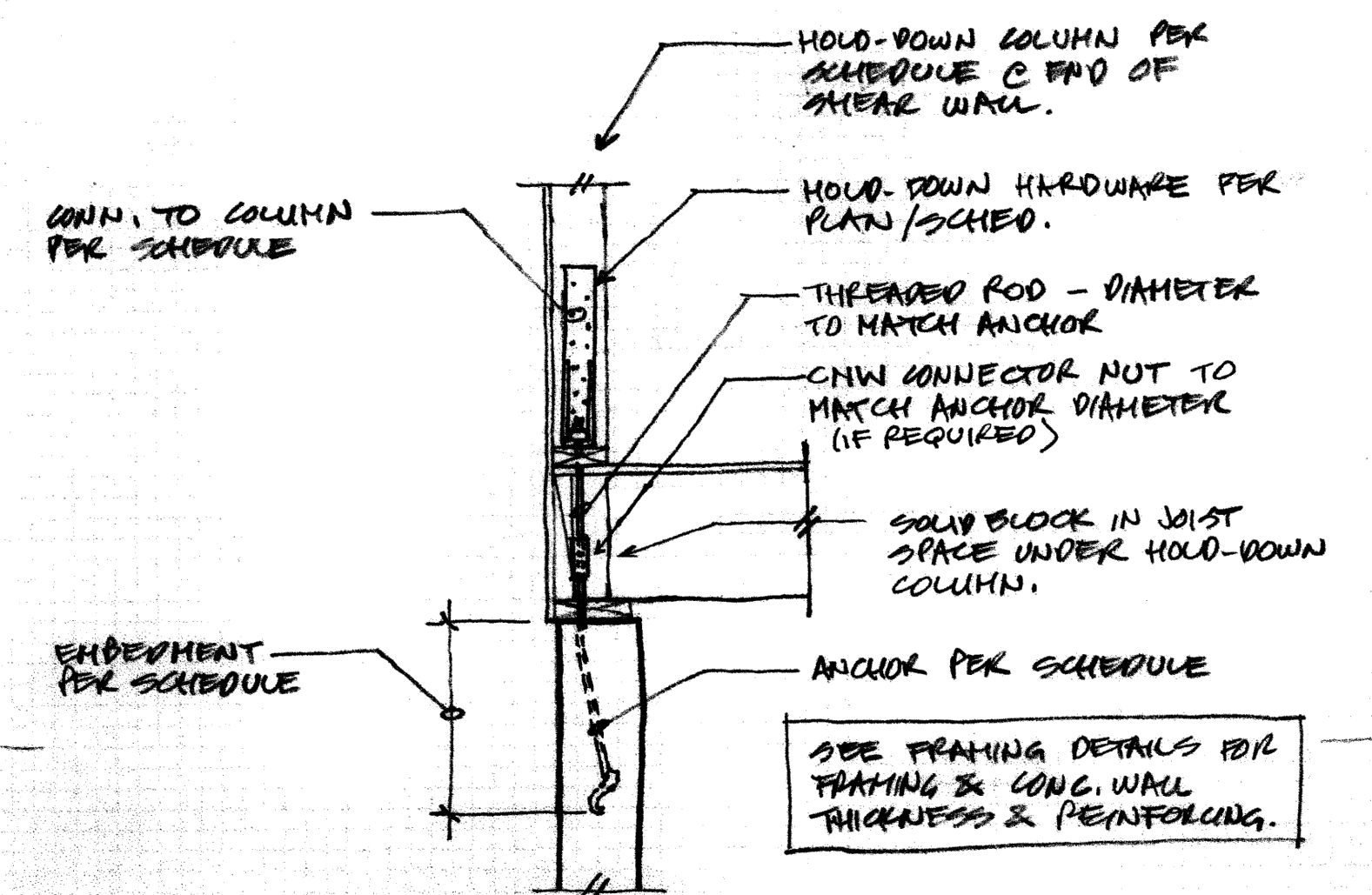
SHEAR WALL TOP PLATE CONNECTION

(C)
1 1/2" = 1'-0"



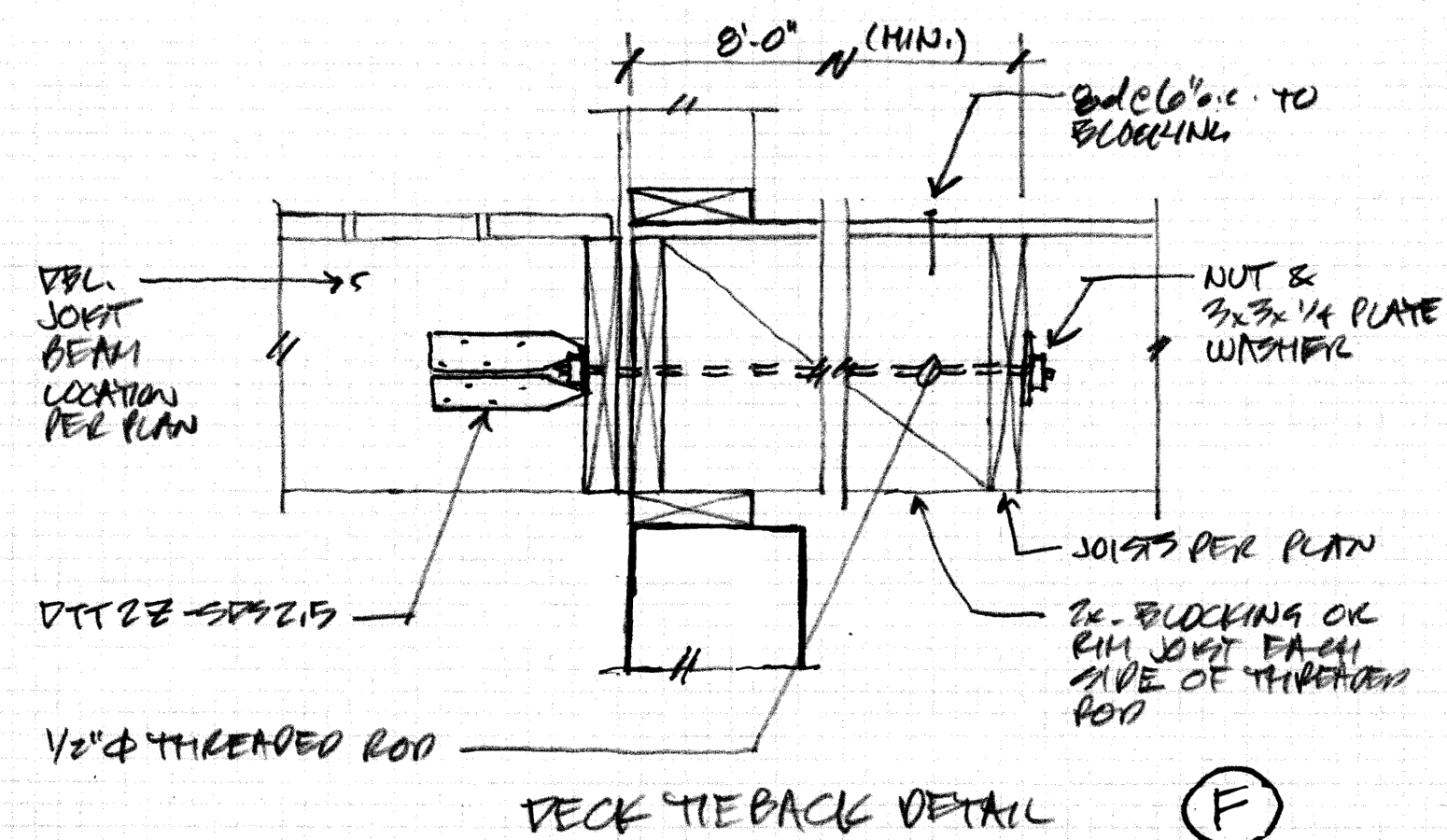
BLOCKING AT HORIZONTAL JOINTS IN SHEAR WALL SHEATHING

(D)
1 1/2" = 1'-0"



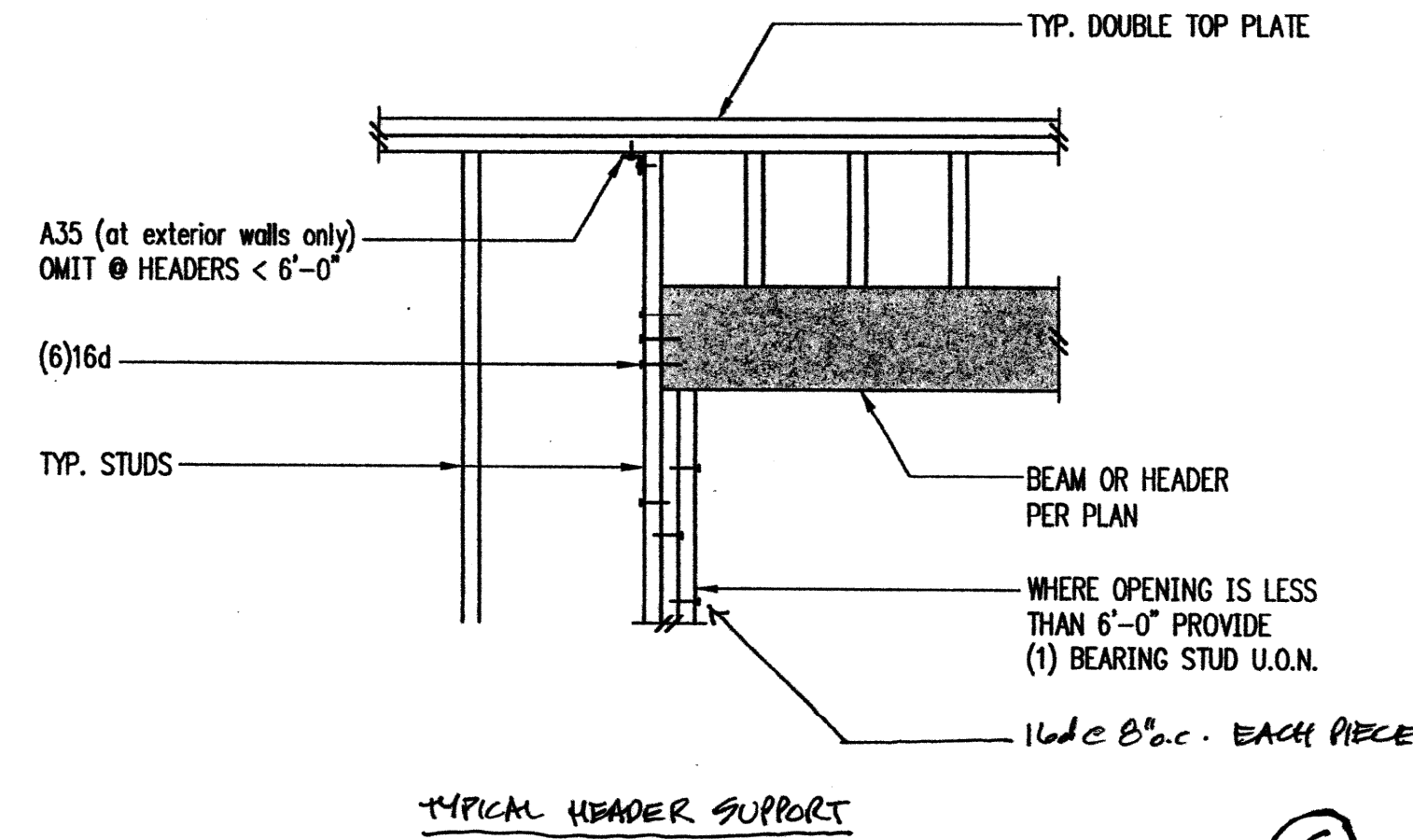
SCHEDULE				
HARDWARE	CAPS-IN-PLACE	BOLTS GRouted	HOLD-DOWN COL. (MIN.)	CONN. TO COLUMN
HDU5-5752.5	SS302A W/ 20%Ni EMBED.	1/2" THREADED ROD W/ 1/2" MIN. EMBEDMENT	(2) 2x -	(4) 5/8" 252A2

(E)



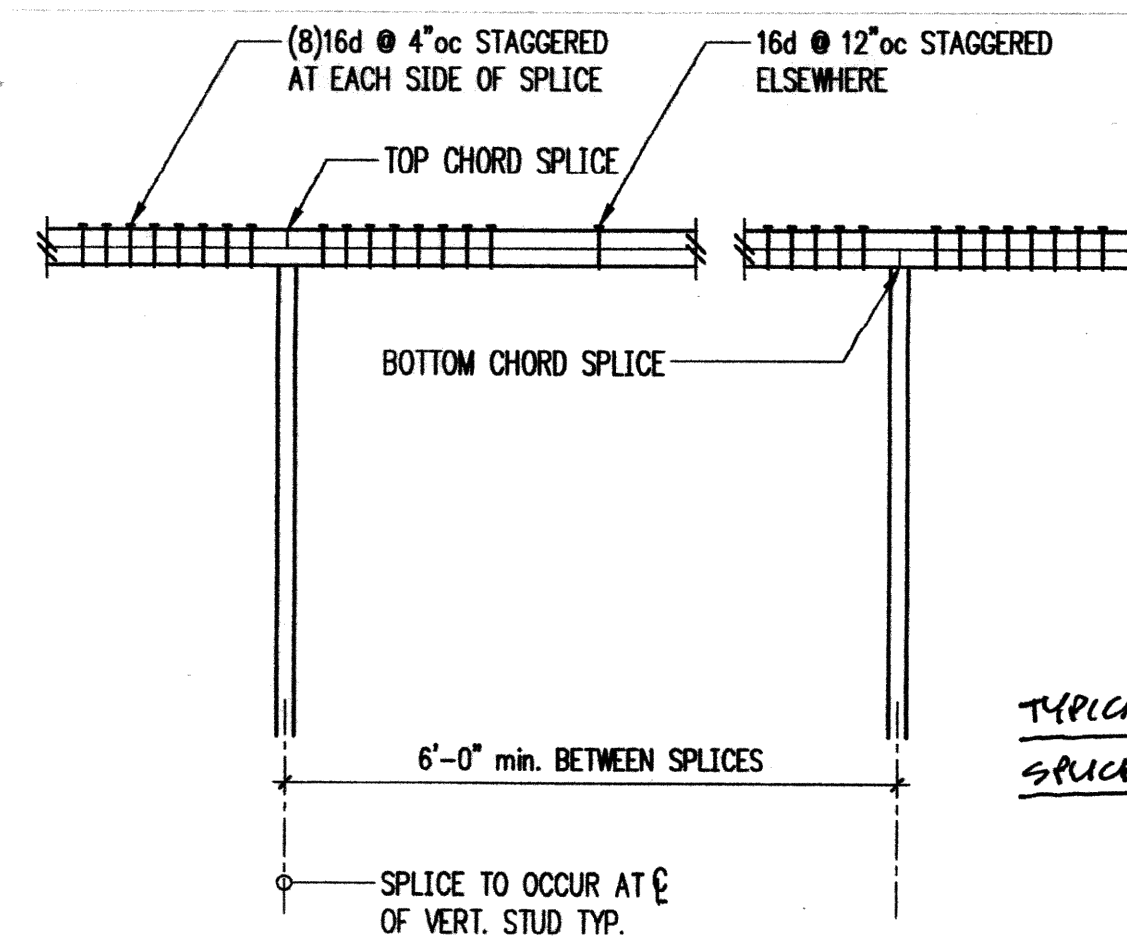
DECK TIE BACK DETAIL

(F)



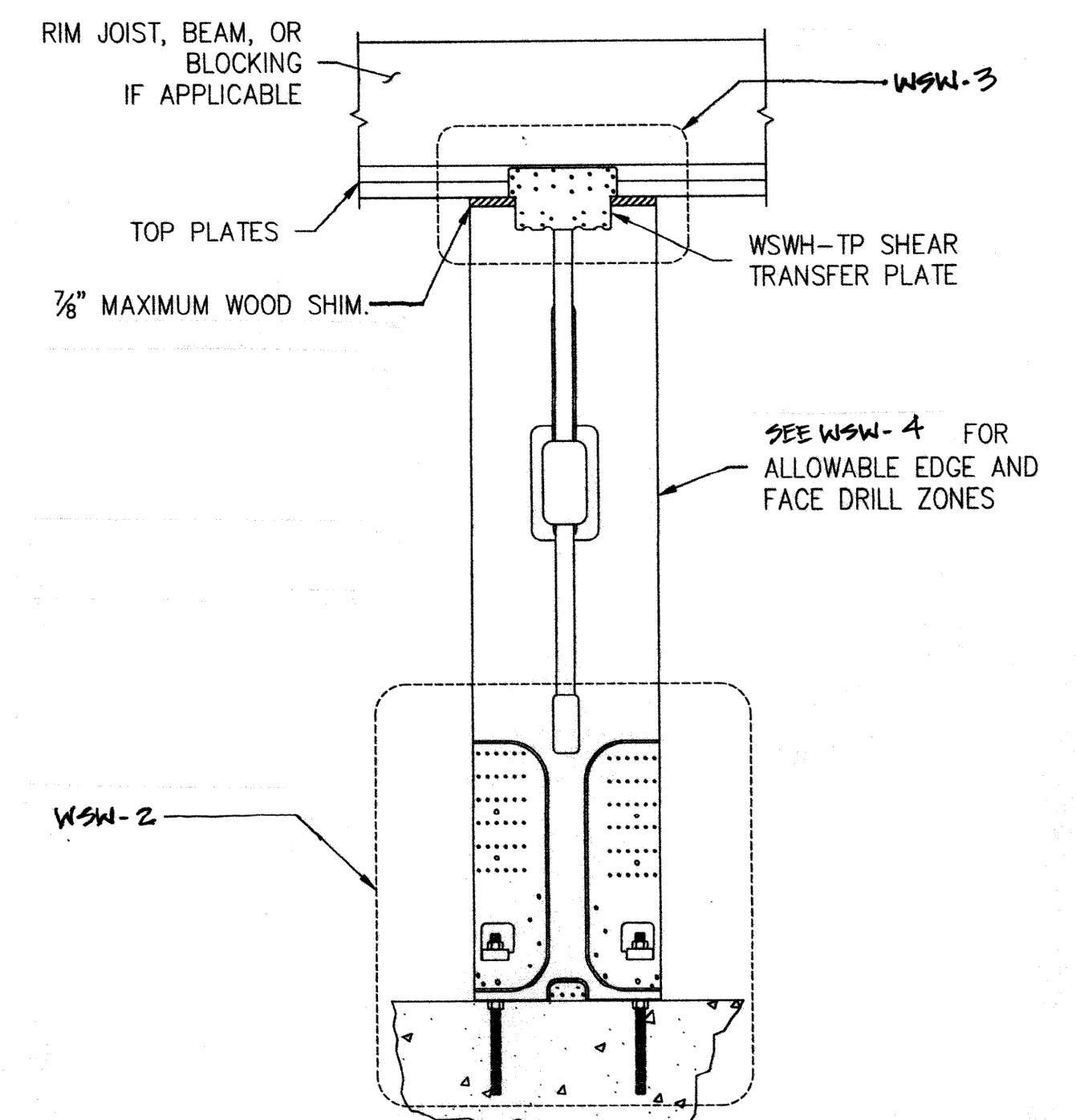
TYPICAL HEADER SUPPORT

(G)



TYPICAL TOP PLATE SPLICE

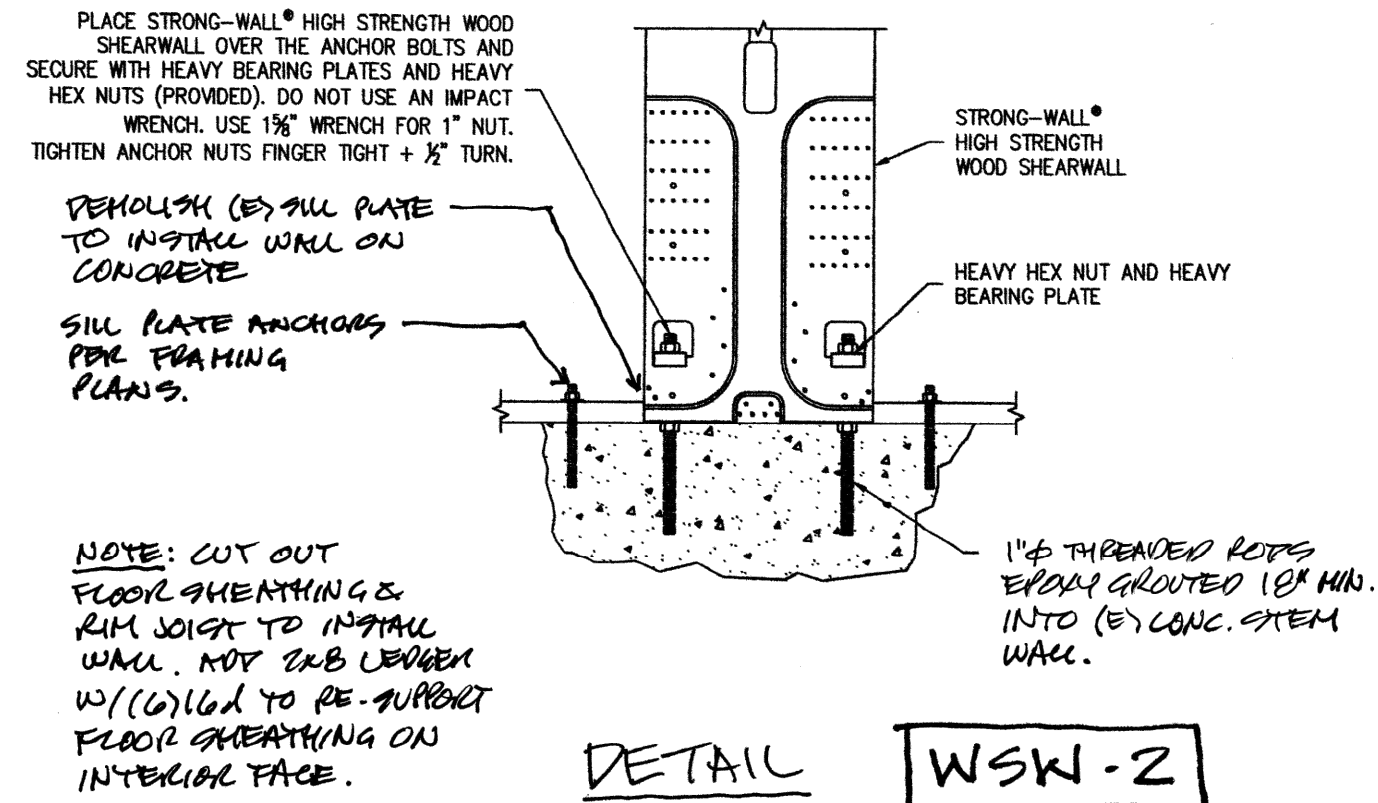
(H)



DETAIL WSK-1

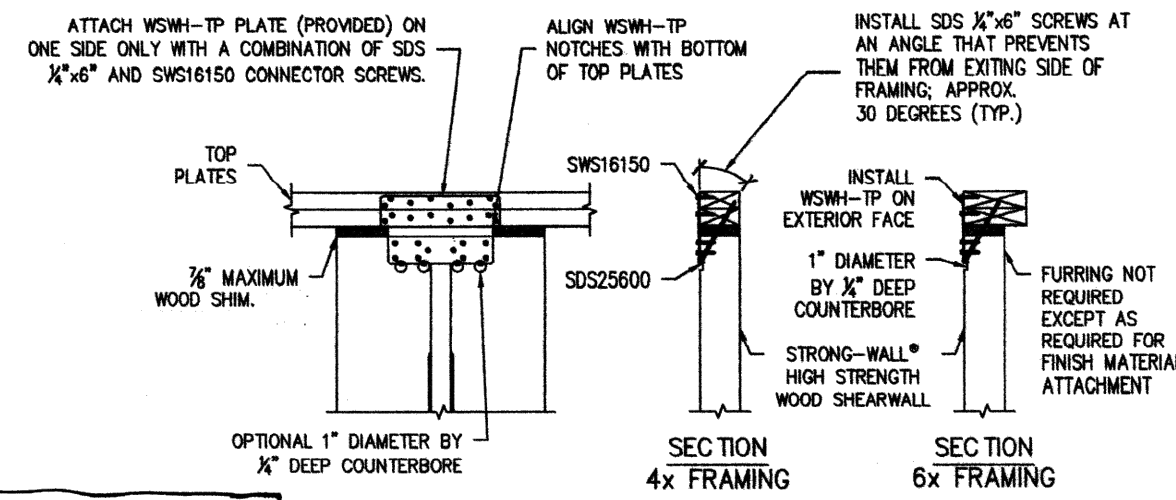


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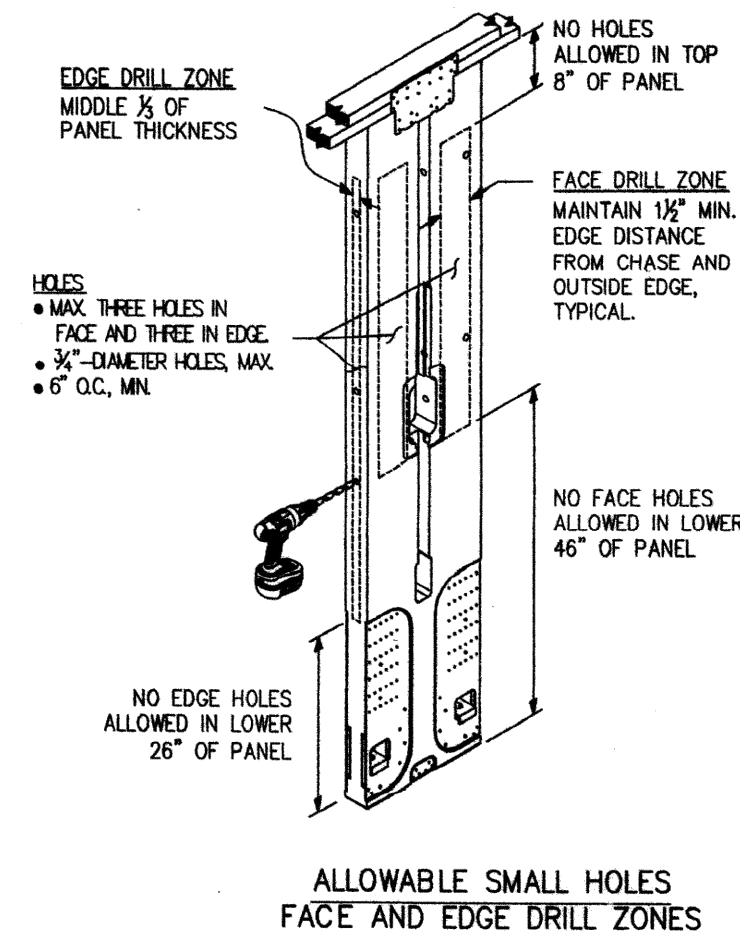


DETAIL WSK-2

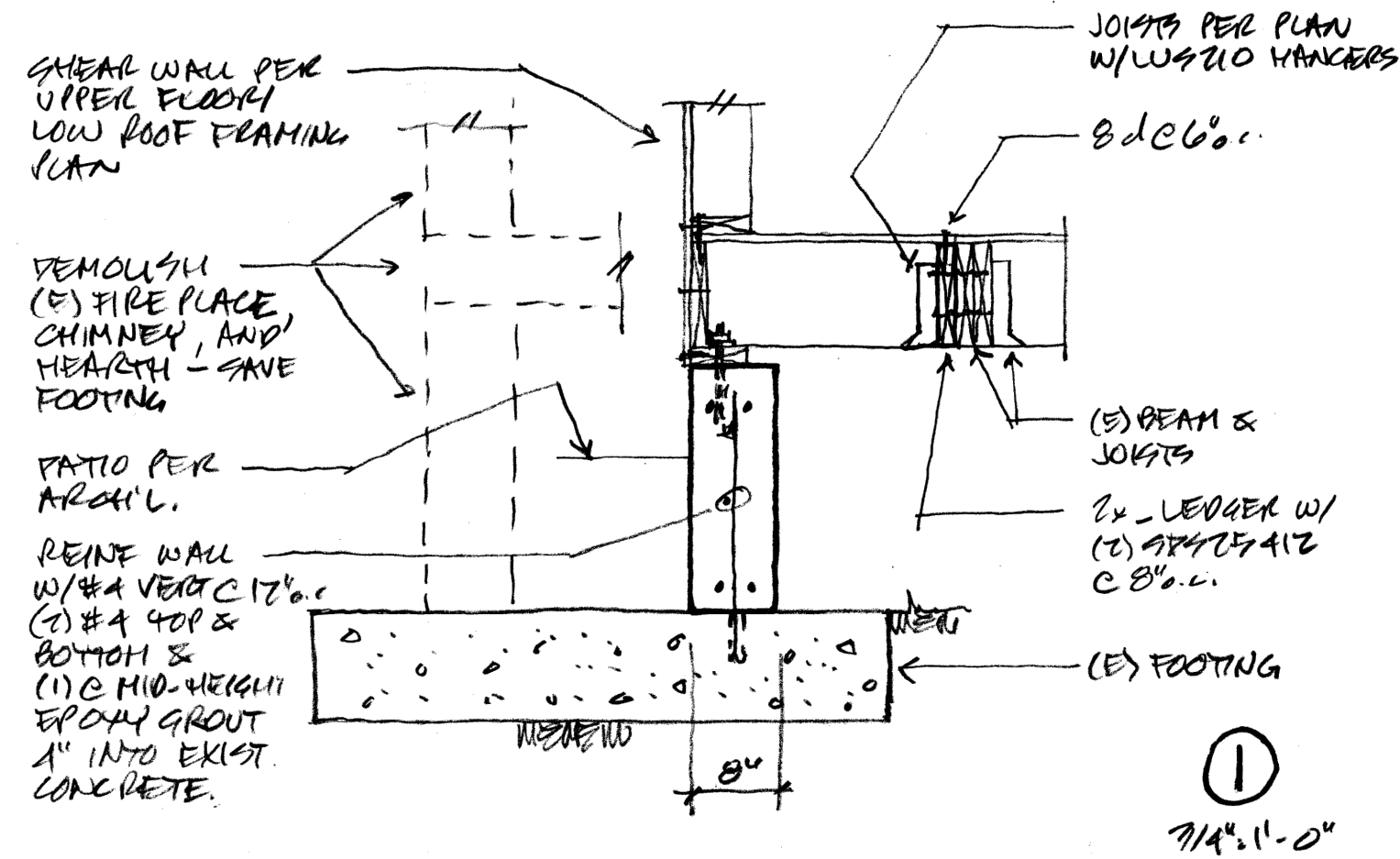
WSM-TP CONNECTION	
MODEL NO.	FASTENER QUANTITY
WSM-TP12	14
WSM-TP18	26
WSM-TP24	46



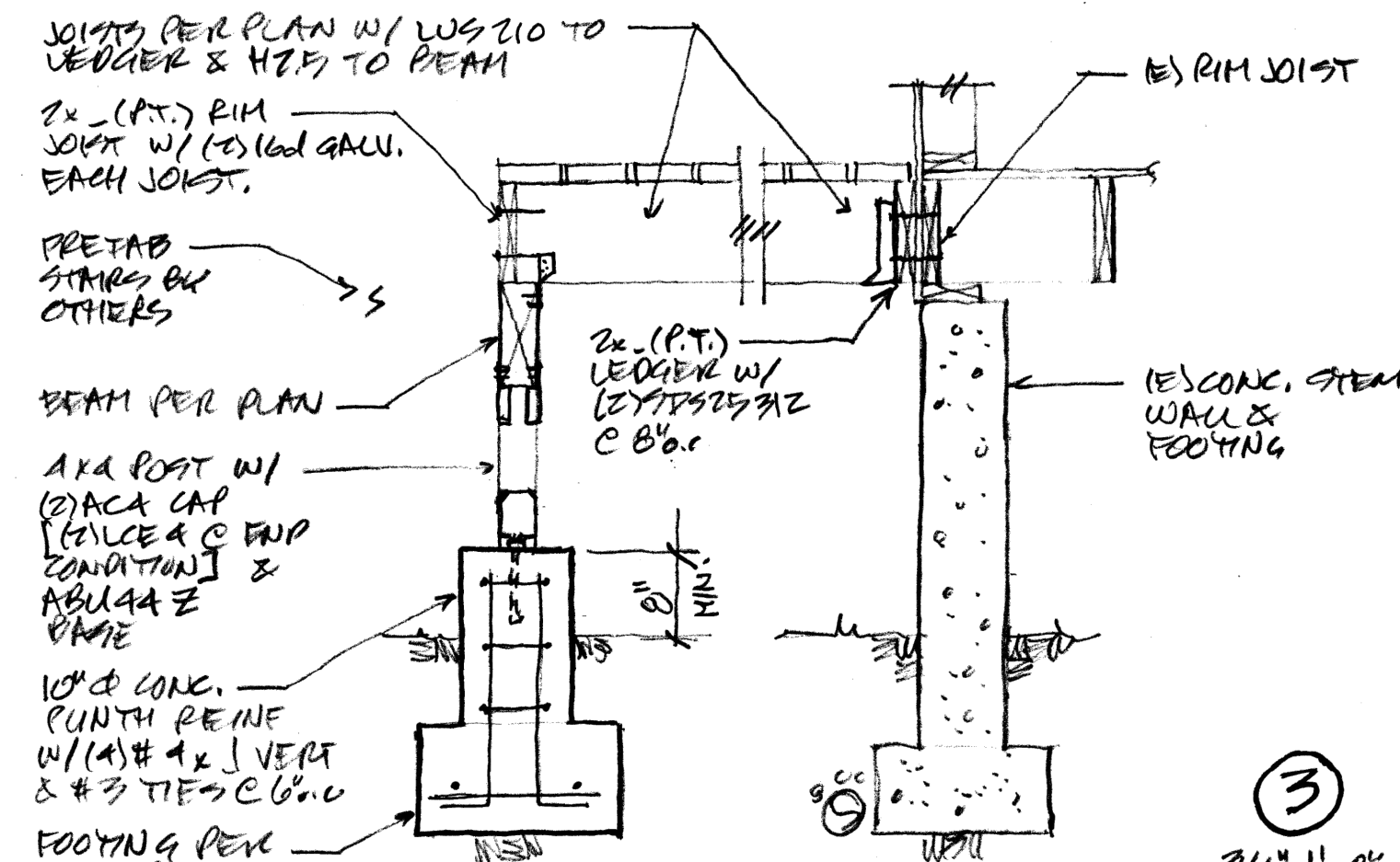
DETAIL WSK-3



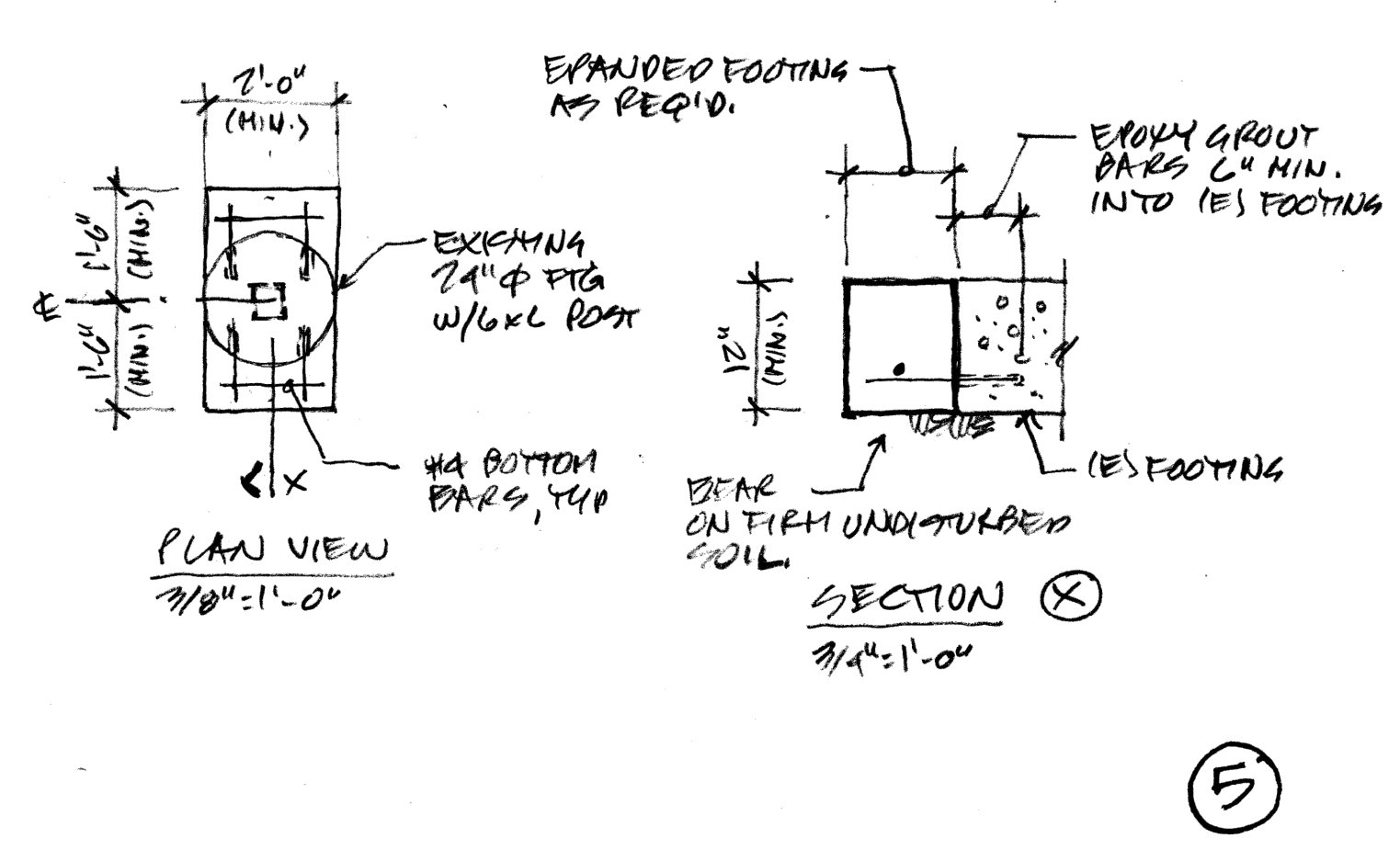
DETAIL WSK-4



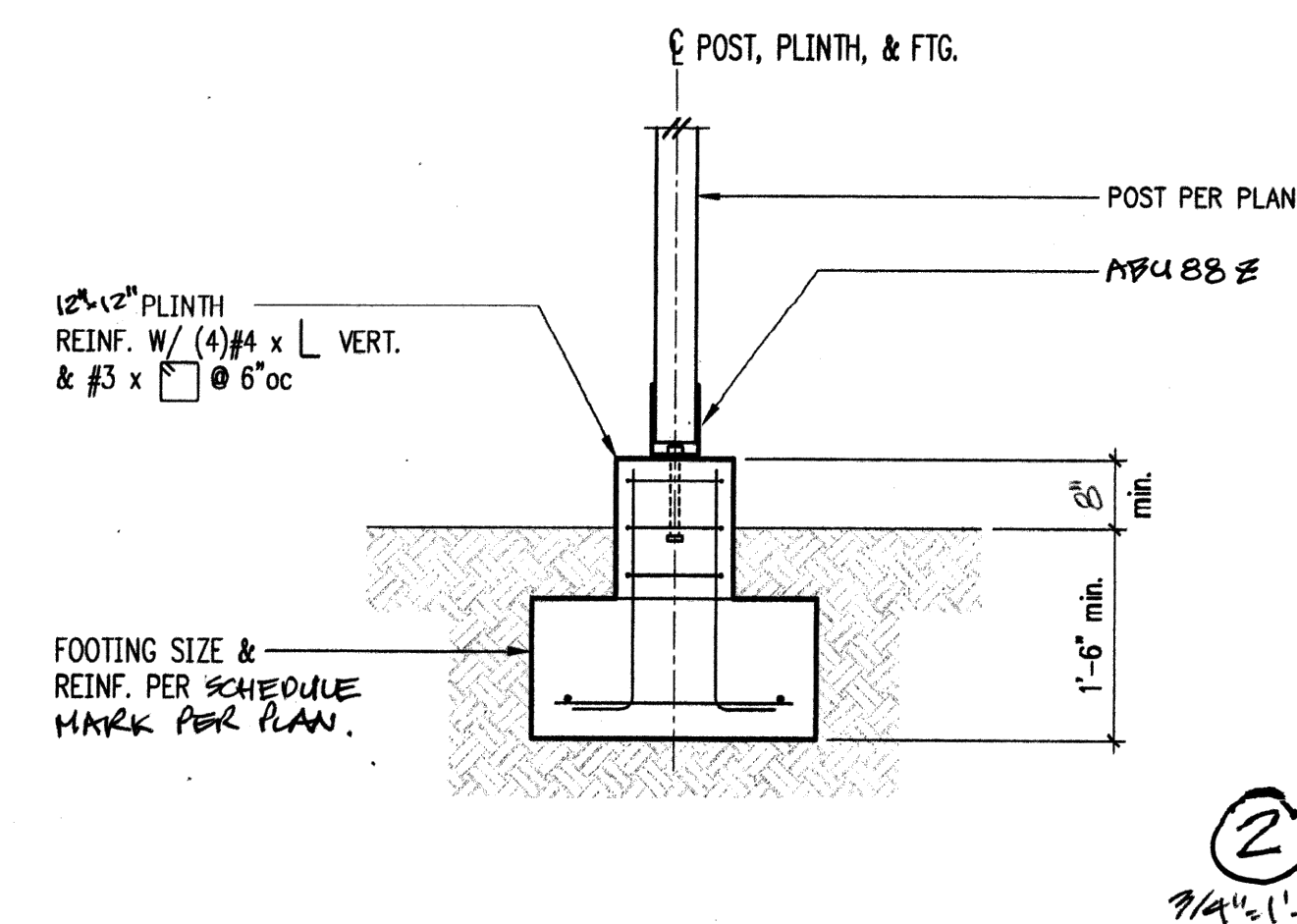
1 7/4\" x 1'-0"



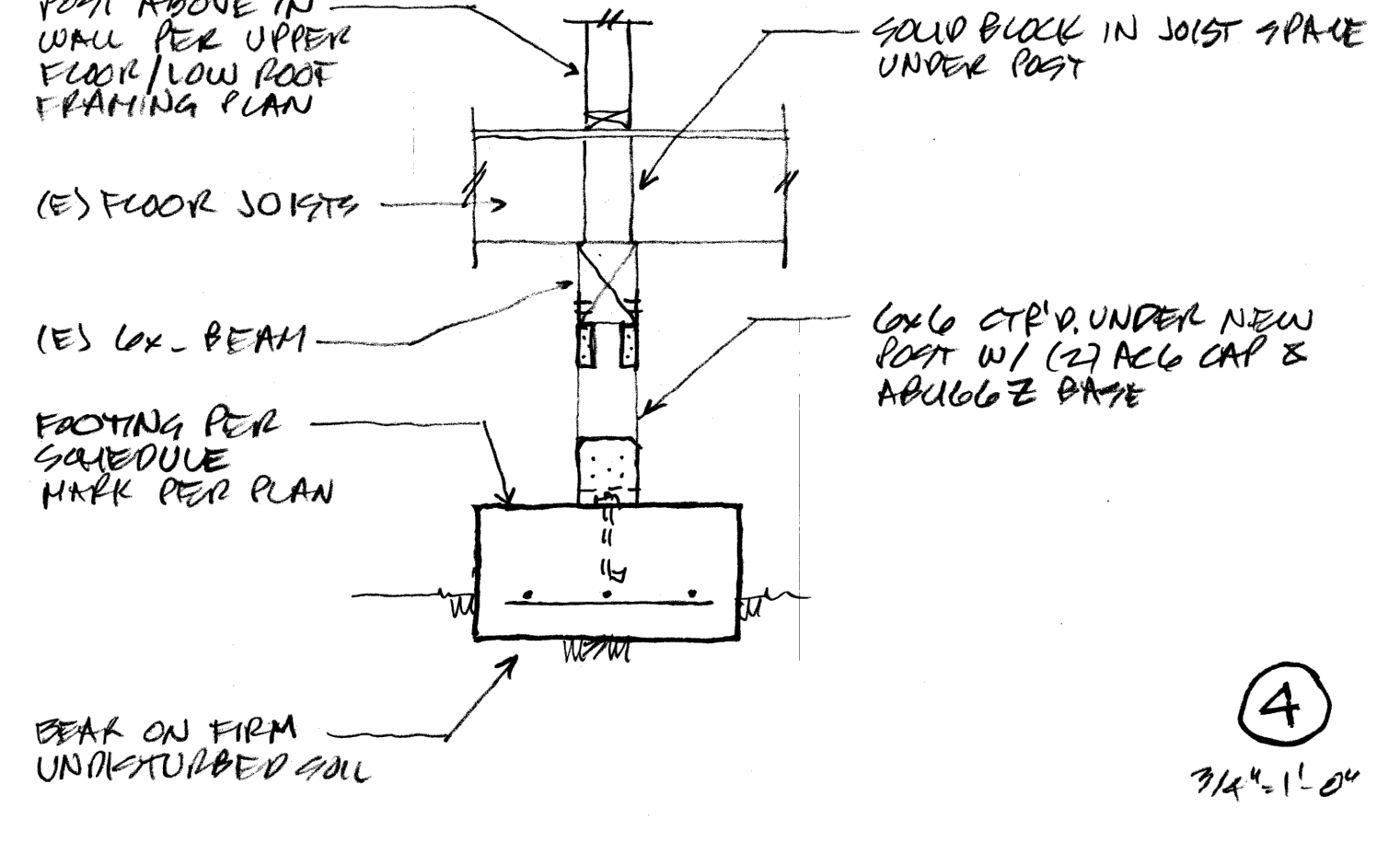
3 7/4\" x 1'-0"



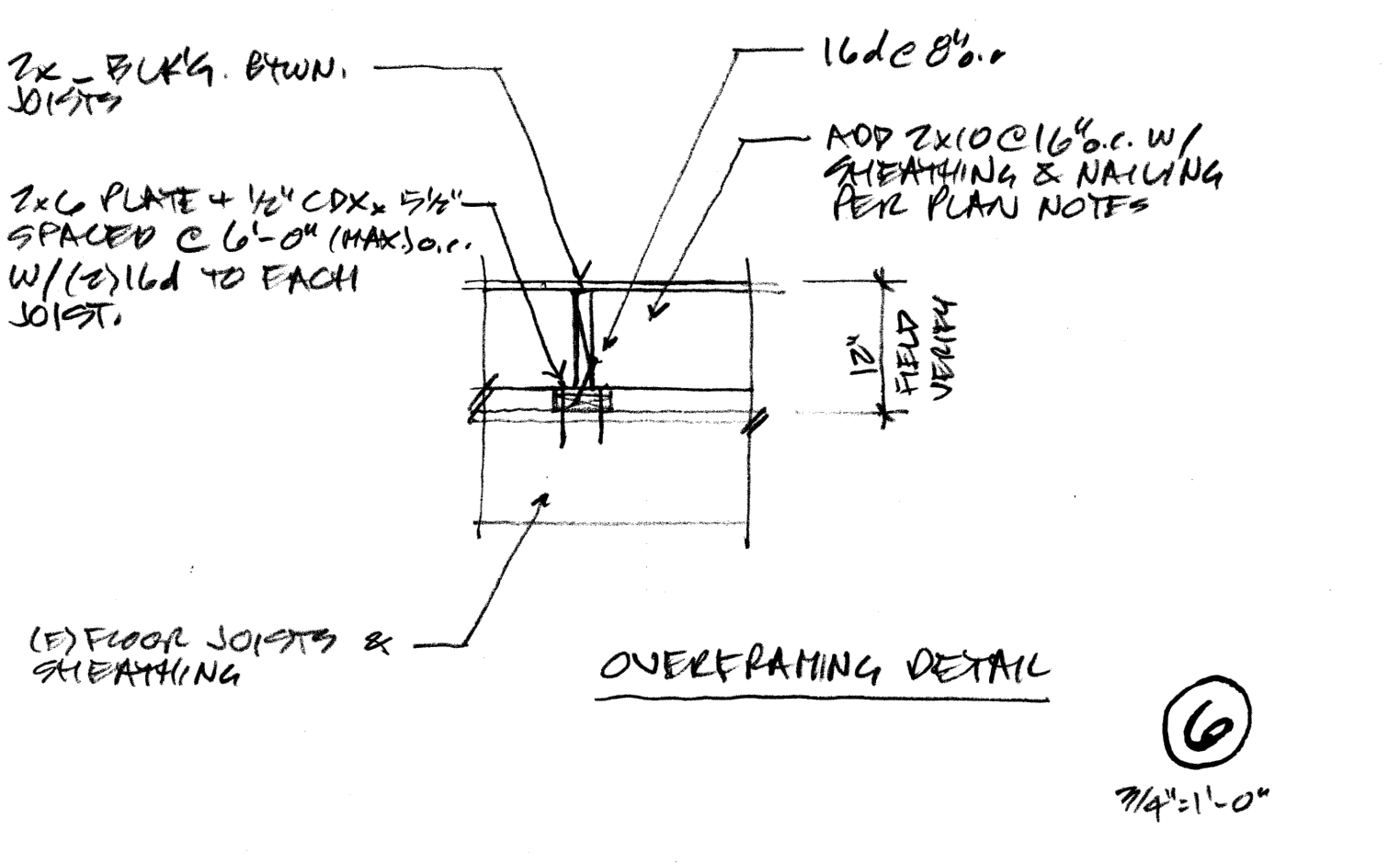
5 7/4\" x 1'-0"



2 7/4\" x 1'-0"

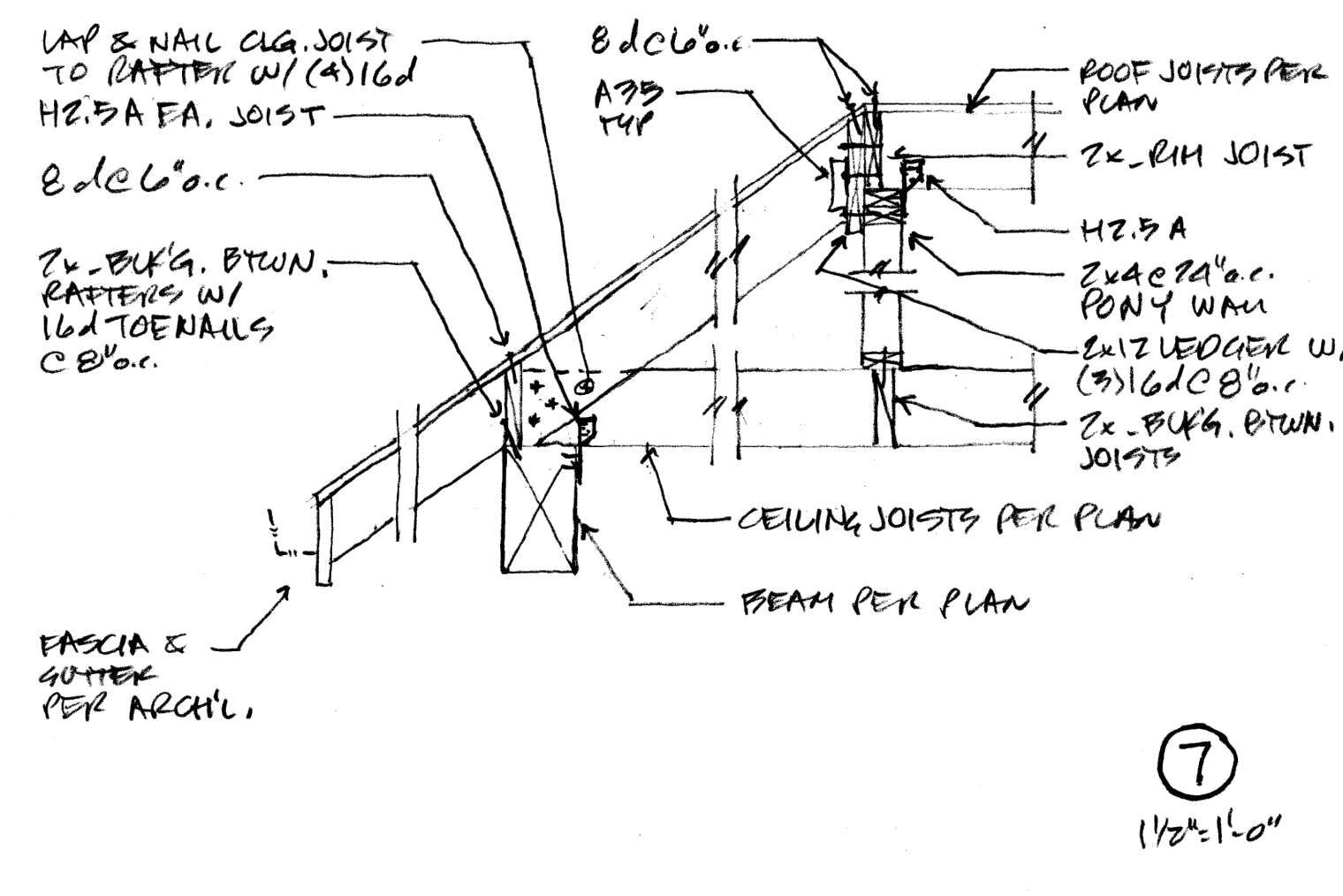


4 7/4\" x 1'-0"

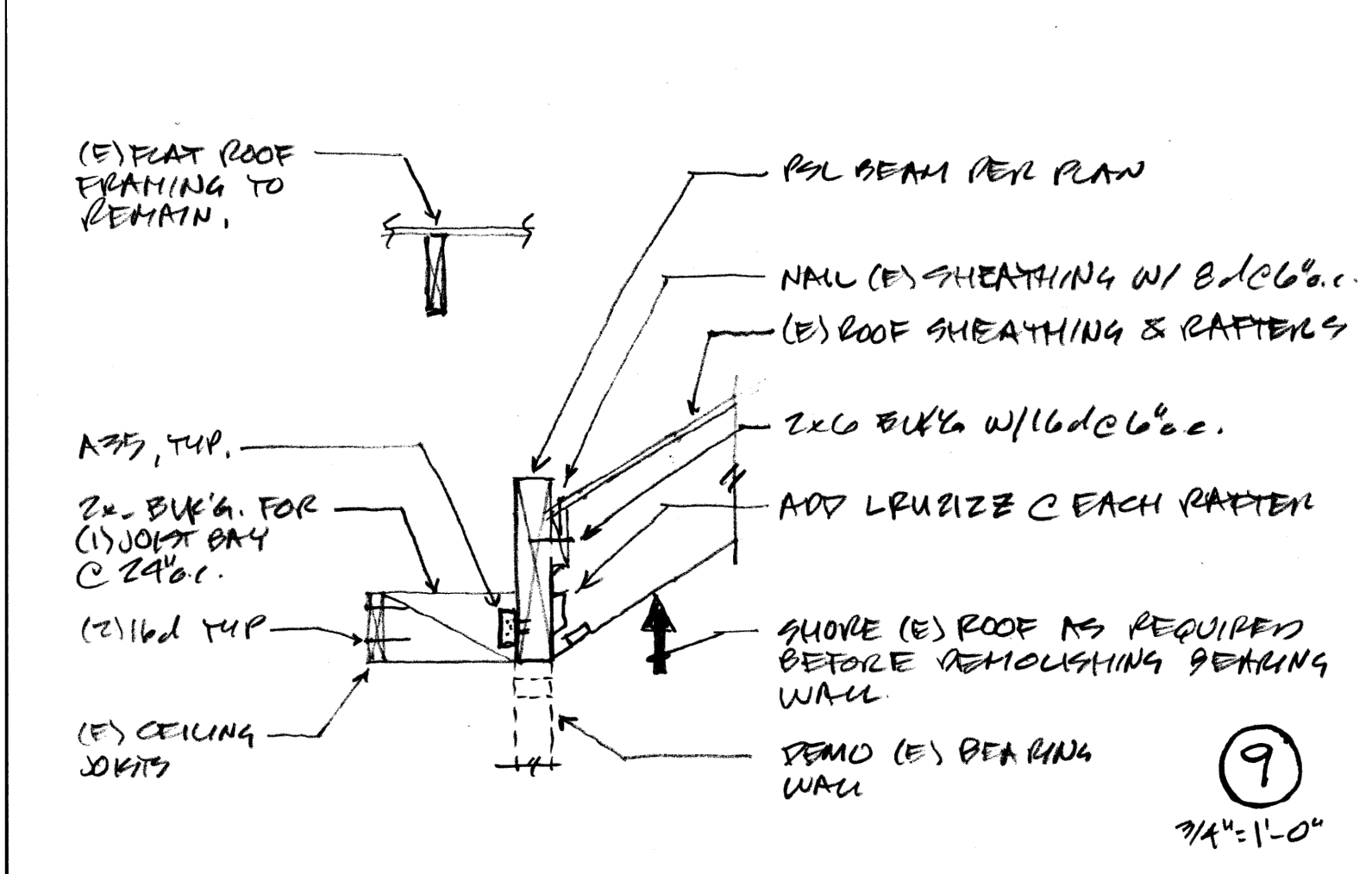


6 7/4\" x 1'-0"

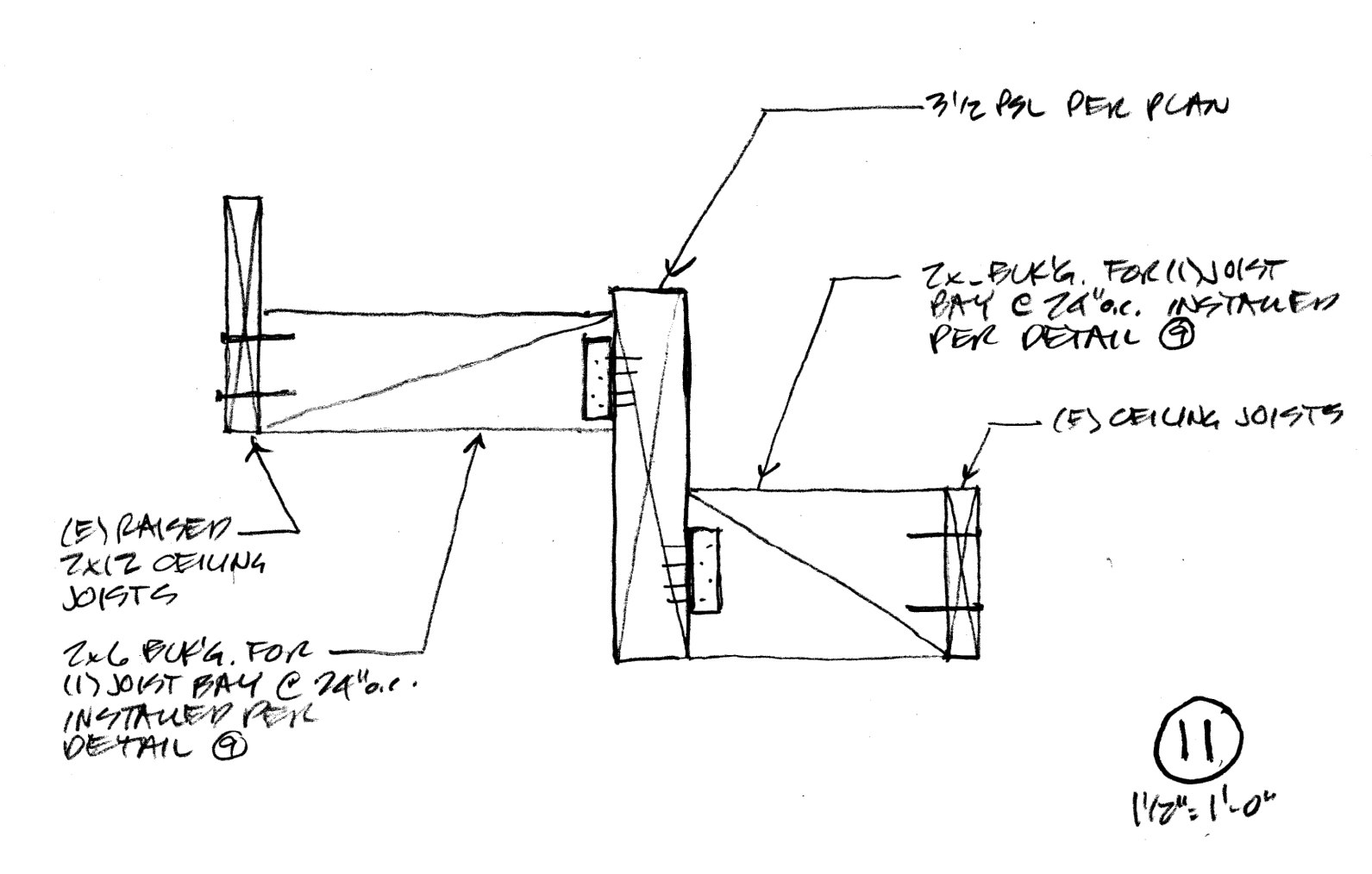




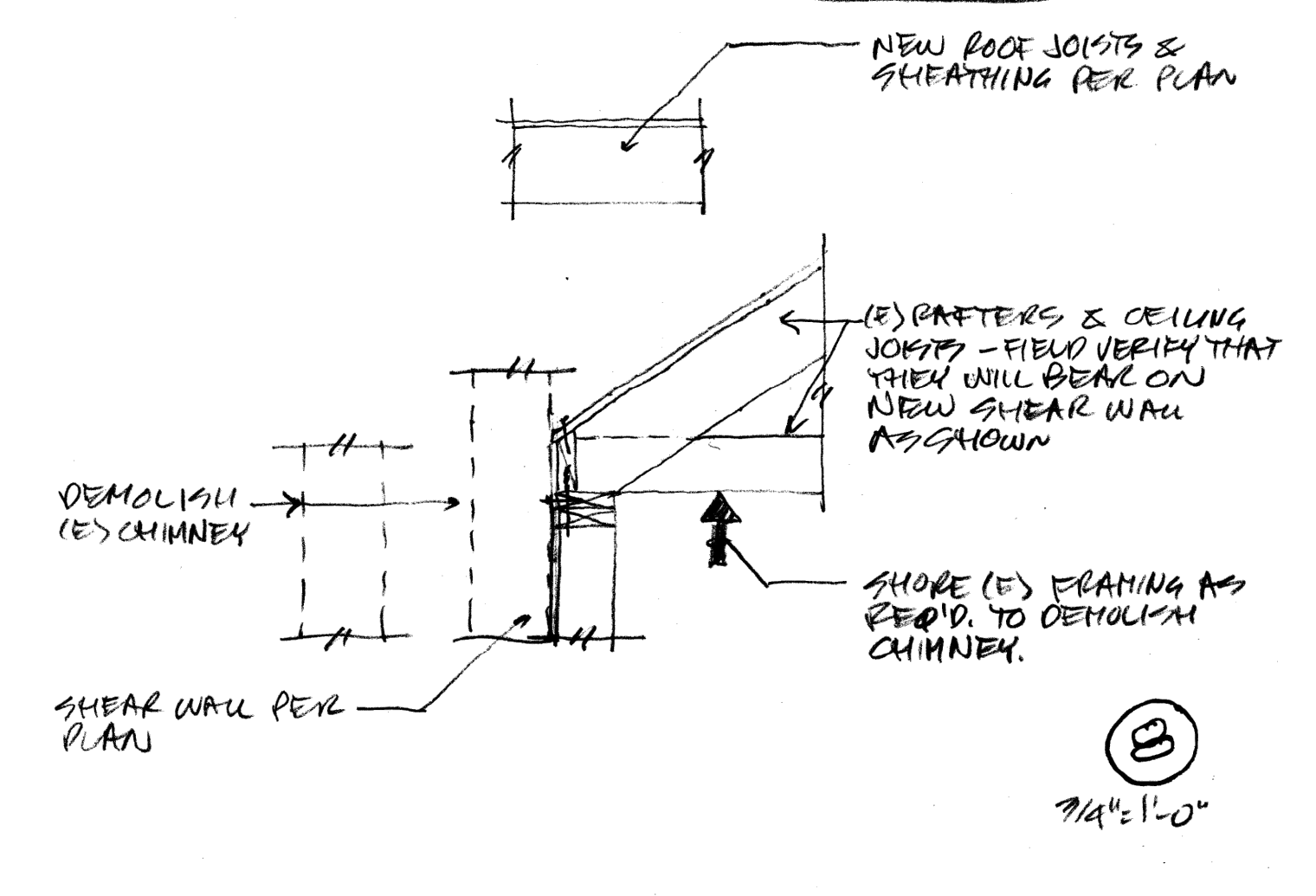
7
1 1/2" x 1'-0"



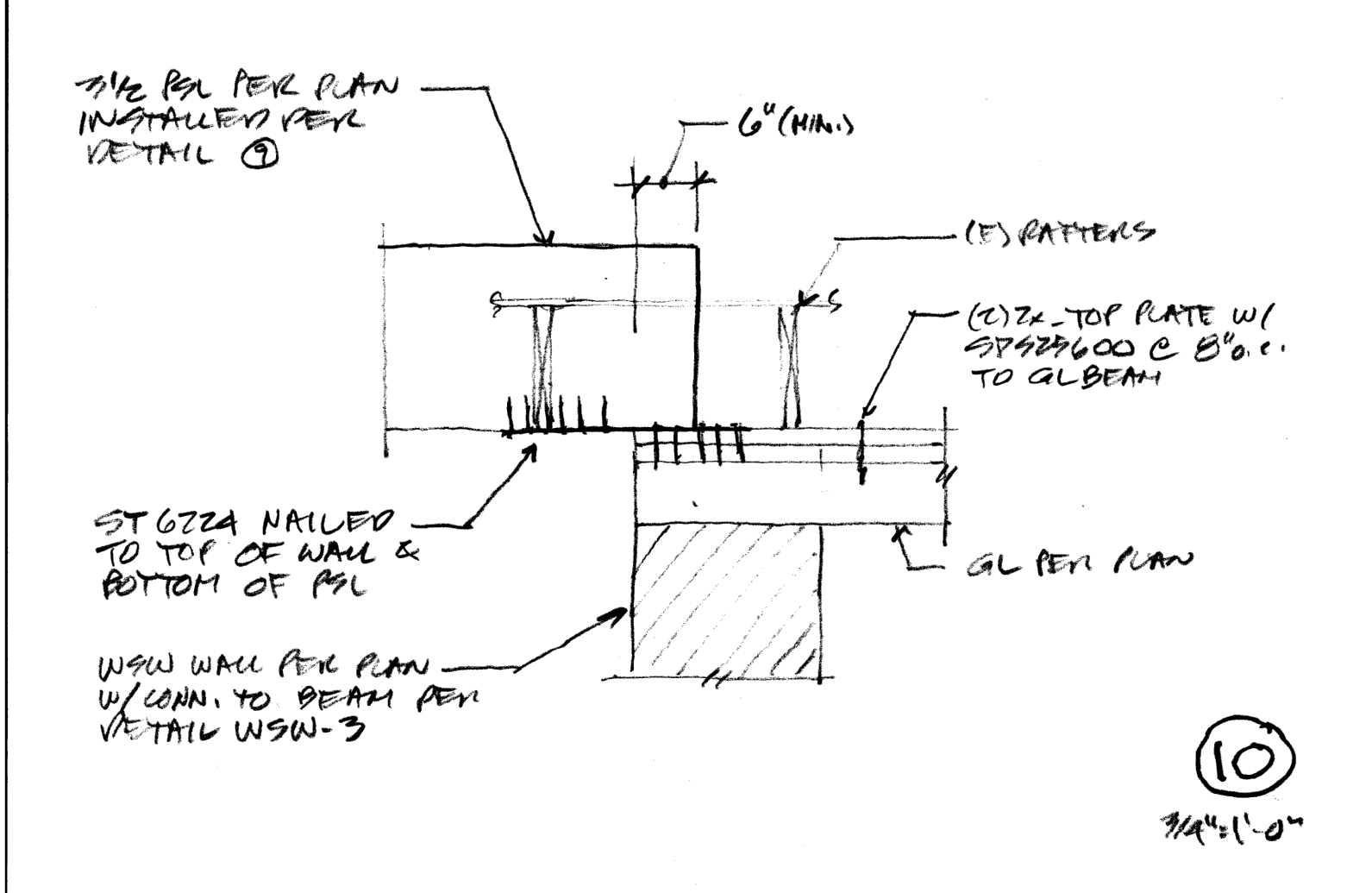
9
3/4" x 1'-0"



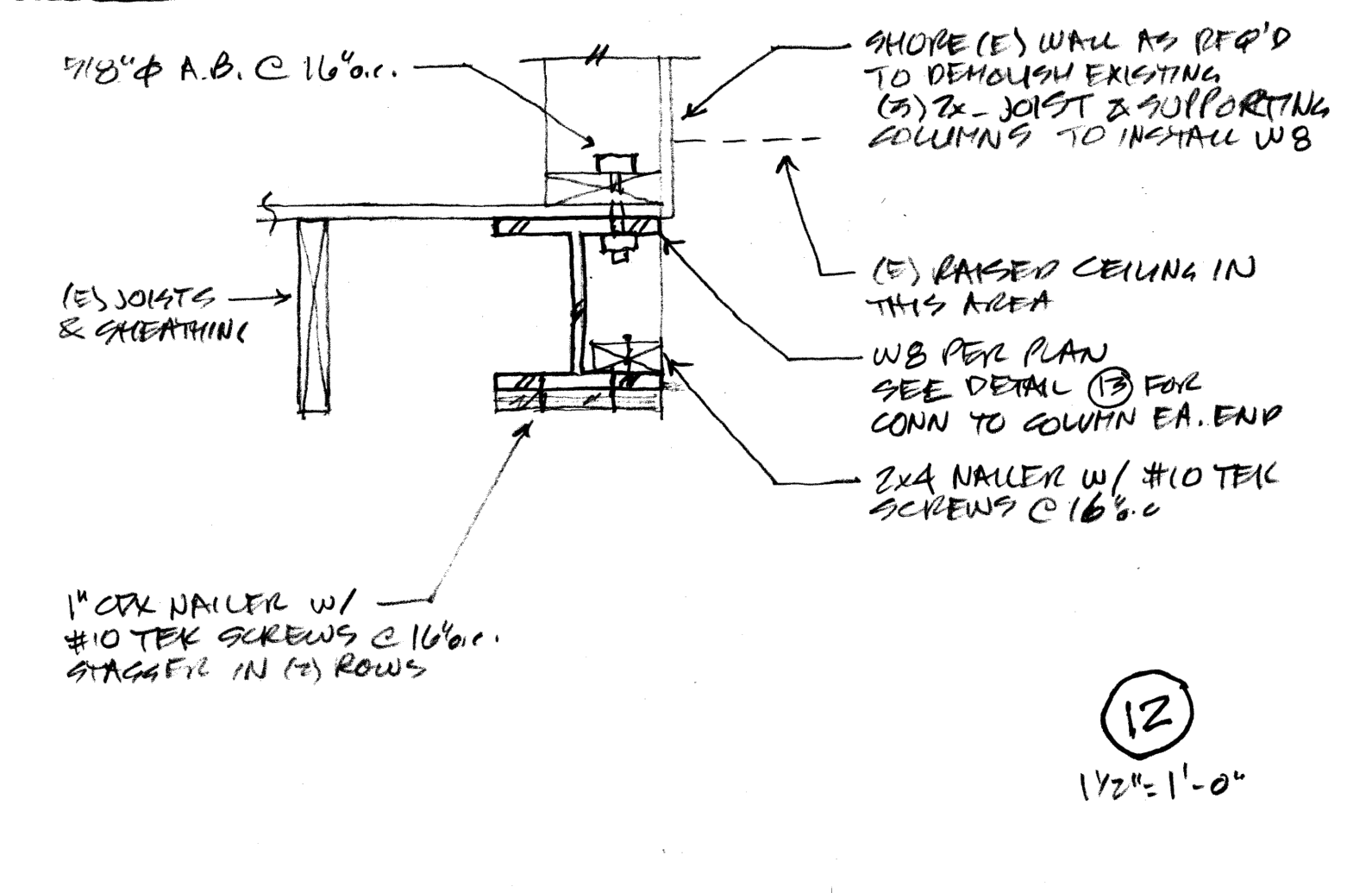
11
1 1/2" x 1'-0"



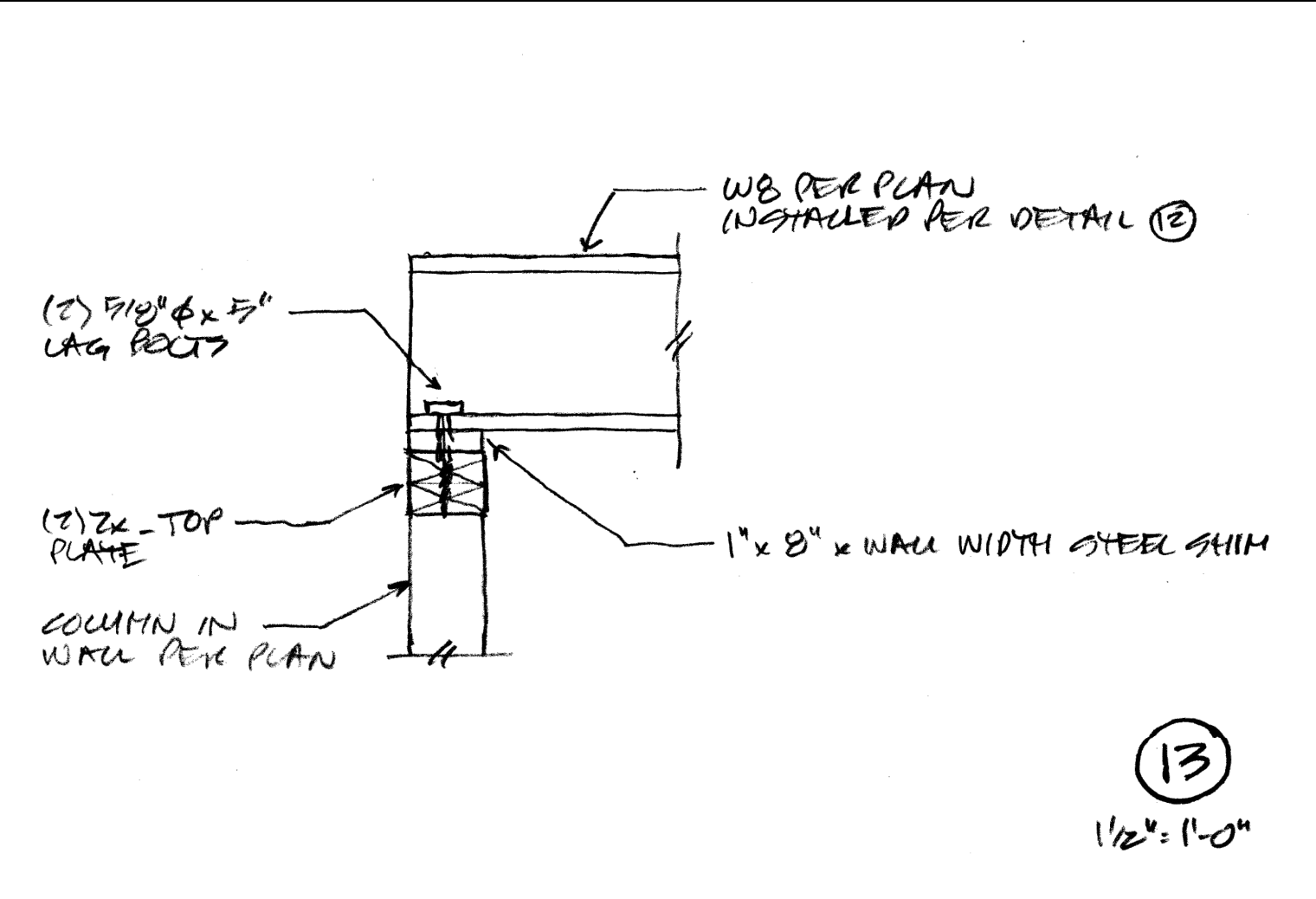
8
3/4" x 1'-0"



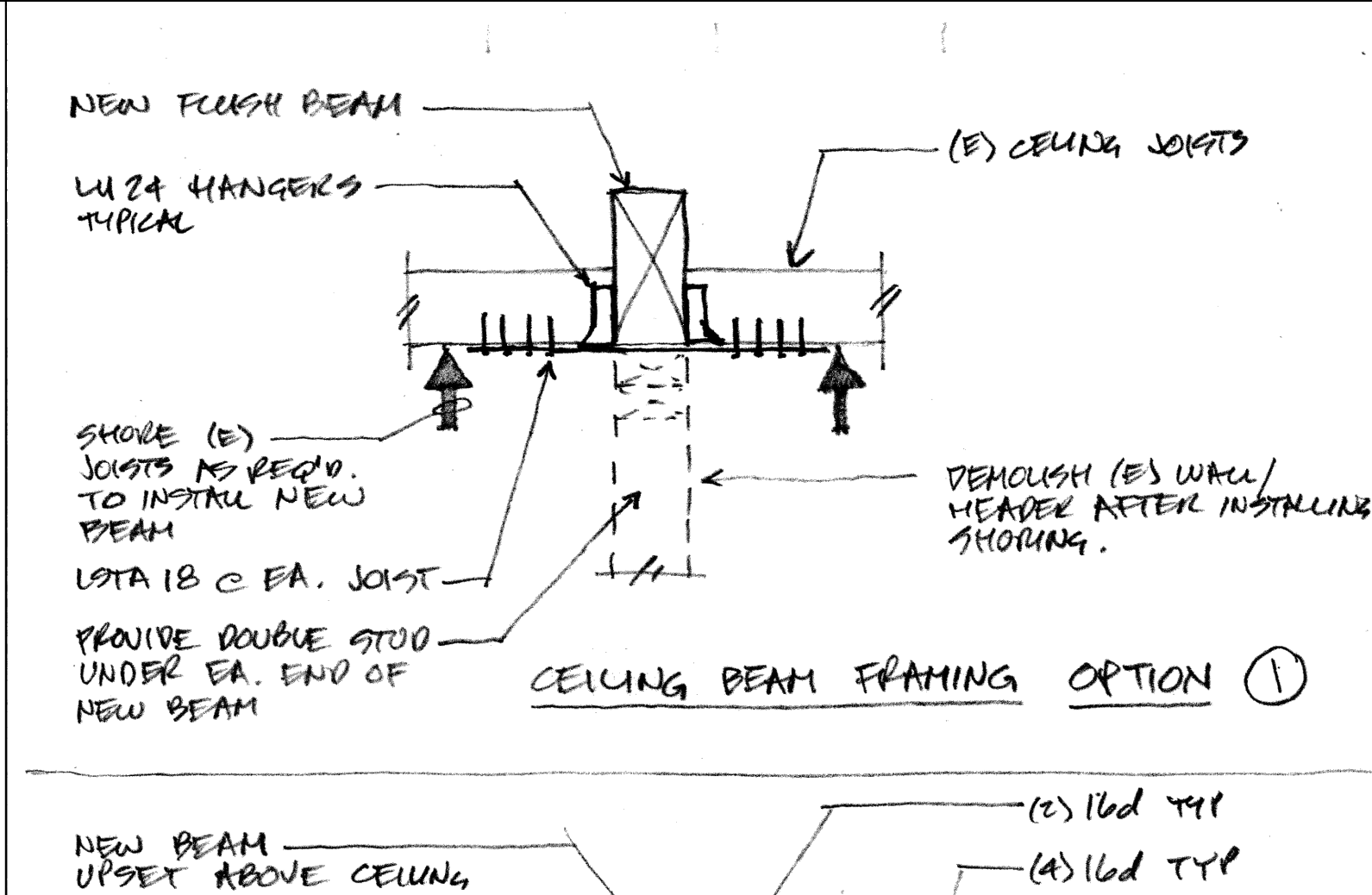
10
3/4" x 1'-0"



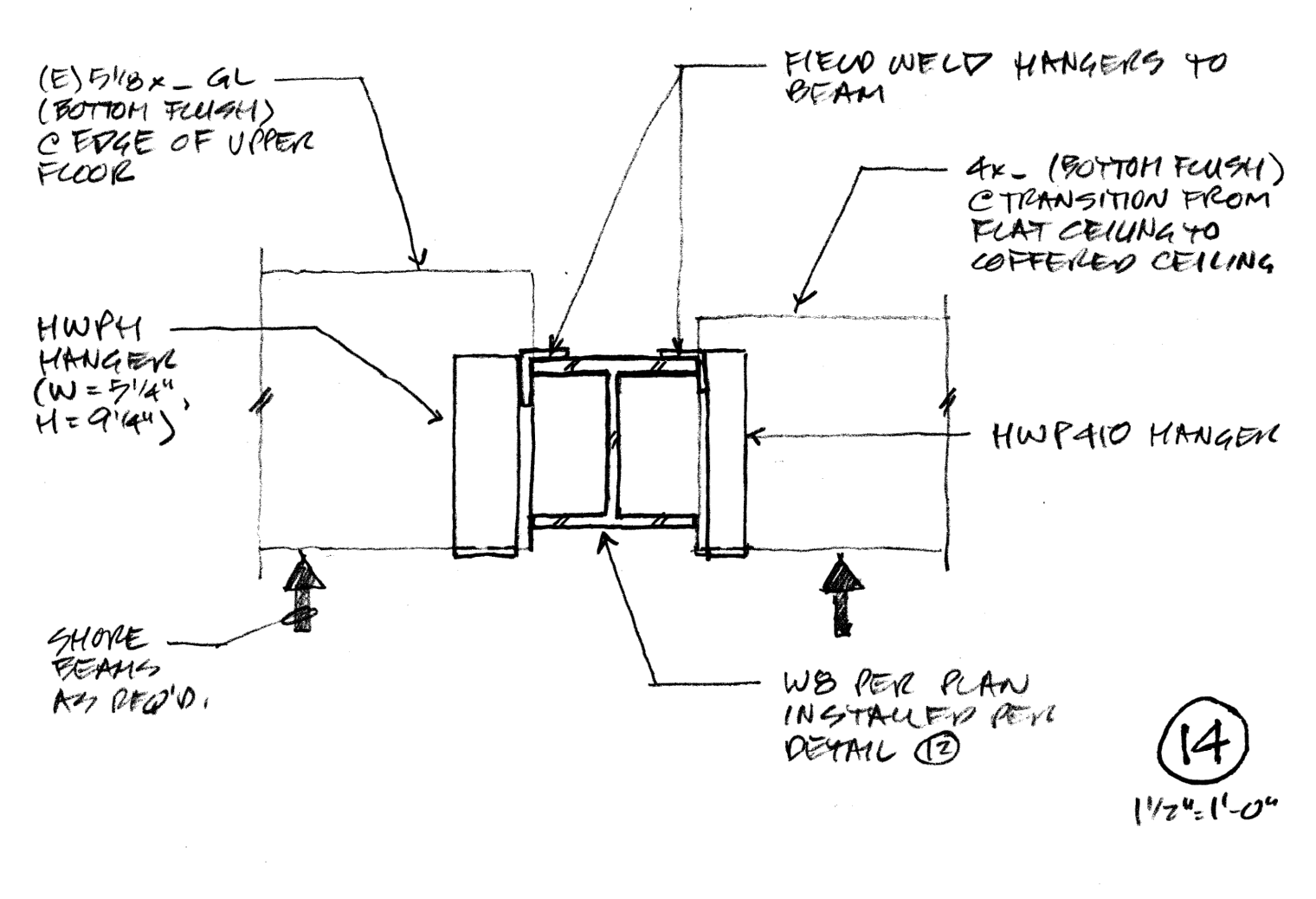
12
1 1/2" x 1'-0"



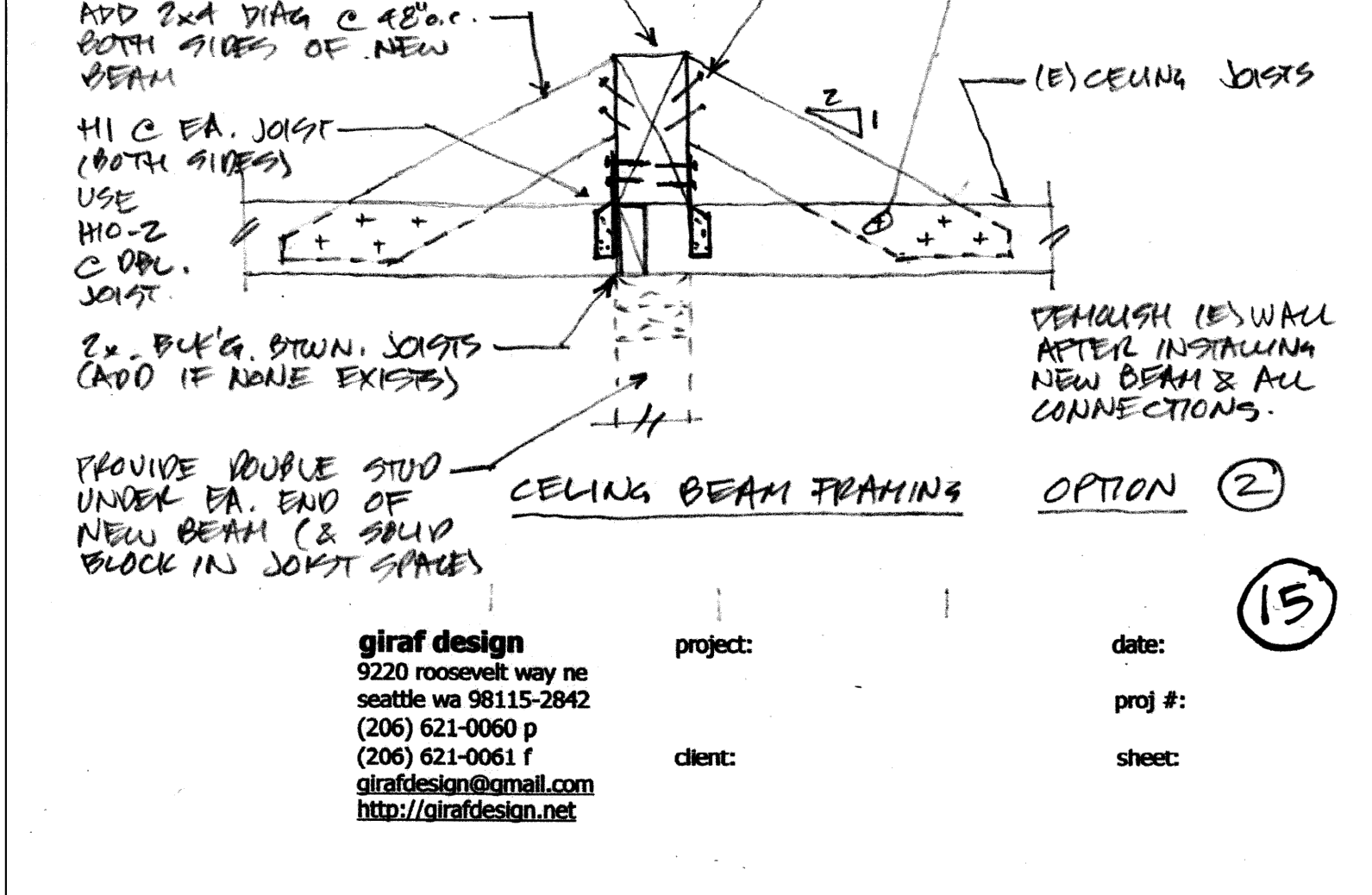
13
1 1/2" x 1'-0"



15



14
1 1/2" x 1'-0"



15

SHEAR WALL SCHEDULE

MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BOTTOM PLATE CONNECTION	
			SELF DRILLING SCREW OPTION	FRAMING CLIP OPTION	TO WOOD BELOW	TO CONCRETE BELOW
SW1 ①	1/2" CDX (2416) PLY.	8d @ 6" o.c.	16" o.c.	24" o.c.	SPS25A12 C 16" o.c.	5/8" φ @ 18"
SW2 ①	1/2" CDX (2416) PLY.	8d @ 4" o.c.	10" o.c.	16" o.c.	SPS25A12 C 10" o.c.	1/2" φ @ 32" o.c.
SW3 ②	1/2" CDX (2416) PLY.	8d @ 3" o.c.	8" o.c.	12" o.c.	SPS25A12 C 8" o.c.	5/8" φ @ 24" o.c.
SW4 ②	1/2" CDX (2416) PLY.	8d @ 2" o.c.	6" o.c.	8" o.c.	SPS25A12 C 6" o.c.	5/8" φ @ 16" o.c.

SHEAR WALL SCHEDULE NOTES

- SW1 & SW2 WALLS SHALL BE FRAMED WITH 2x STUDS @ 16" o.c. WITH DOUBLE STUDS (MIN.) AT EACH END, 2x BOTTOM PLATE AND (2) 2x TOP PLATE.
- SW3 & SW4 WALLS SHALL BE FRAMED WITH 2x STUDS @ 16" o.c. WITH DOUBLE STUDS AT ALL VERTICAL PLYWOOD JOINTS (SEE DETAIL A) & DOUBLE STUDS (MIN.) AT EACH END, 2x BOTTOM PLATE AND (2) 2x TOP PLATE.
- O.S.B. OF EQUIVALENT NOMINAL THICKNESS AND SPAN RATING MY BE SUBSTITUTED WITH ARCHITECT'S PRE-APPROVAL.
- 8d NAILS SHALL BE 0.131" φ x 2 1/2" (COMMON). 10d NAILS SHALL BE 0.148" φ x 3" (COMMON). 16d NAILS SHALL BE 0.135" φ x 3 1/2" (BOX).
- PROVIDE BLOCKING PER DETAIL P AT ALL UNFRAMED HORIZONTAL JOINTS IN SHEAR WALL. NAIL @ 12" o.c. TO ALL INTERMEDIATE FRAMING.
- SEE DETAIL C FOR TOP PLATE CONNECTION SIZES AND OPTIONS.
- SEE DETAIL P FOR BOTTOM PLATE CONNECTION TO WOOD.



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sheet: _____